



PLANNING AND ZONING COMMISSION MEETING AGENDA

Notice is hereby given of a **Regular Meeting** of the La Porte **Planning and Zoning Commission** to be held on **Thursday, September 21, 2017** at 6:00 p.m. at City Hall Council Chambers, 604 W. Fairmont Parkway, La Porte, Texas, regarding the items of business according to the agenda listed below:

- 1. CALL TO ORDER**
- 2. ROLL CALL OF MEMBERS.**
- 3. CONSIDER APPROVAL OF THE MEETING MINUTES:**
 - a. August 17, 2017 Meeting
- 4. MAJOR DEVELOPMENT SITE PLANS:**
 - a. Consider a request by Kevin Polasek of Terra Associates, Inc.; for approval of a major development site plan for a proposed spec warehouse distribution facility on a 34.69 acre parcel located at 1302 Wharton Weems Blvd.
- 5. PUBLIC HEARING:** Open public hearing to receive input on an application for Special Conditional Use Permit (SCUP) #17-91000002, a request of Jeff Davis, applicant; on behalf of Port of Houston Authority of Harris County, Texas, owner; to amend the existing SCUP allowing for the hours of operation to be extended on a tract of land legally described as Reserve A, Block 1, Port of Houston Authority.
 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments (for, against, or question)
 - d. Question and Answer
- 6. ADJOURN PUBLIC HEARING**
- 7. CONSIDERATION:** Consider recommendation to City Council on SCUP #17-91000002
- 8. PUBLIC HEARING:** Open public hearing to receive input on an application for Special Conditional Use Permit (SCUP) #17-91000003, a request Alan Calaway, applicant; to allow for an Indoor Gun Range and Retail Space, to locate on a tract of land legally described as the northern 256' wide strip of Tract 1L, Johnson Hunter Survey, Abstract No. 35.
 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments (for, against, or question)
 - d. Question and Answer
- 9. ADJOURN PUBLIC HEARING**
- 10. CONSIDERATION:** Consider recommendation to City Council on SCUP #17-91000003

11. PUBLIC HEARING: Open Public Hearing to receive input on an application for Zone Change #17-92000003, a request by Jeff Presnal of Cypressbrook Management Company, LP, applicant, on behalf of Carrington F. Weems, owner. The request is for approval of a zone change from General Commercial (GC) to Planned Unit Development (PUD), on a 5.051 acre tract of land, legally described as Blocks 1143 and 1144, La Porte Subdivision.

- a. Staff Presentation
- b. Applicant Presentation
- c. Public Comments (for, against, or question)
- d. Question and Answer

12. ADJOURN PUBLIC HEARING

13. CONSIDERATION: Consider recommendation to City Council on Zone Change request #17-92000003

14. FUTURE LAND USE MAP AMENDMENT: Consider a recommendation to the La Porte City Council on a proposed amendment to the Future Land Use Map component of the La Porte Comprehensive Plan by amending the land use designation for a 5.051 acre tract of land legally described as Blocks 1143 and 1144, La Porte Subdivision, from “Commercial” to “Light Industrial.”

15. DISCUSSION ITEM

- a. Proposed changes to the Neighborhood Commercial (NC) Zoning District regulations established in the La Pore Zoning Ordinance (Chapter 106) and possible action to provide direction to staff.
- b. Port Crossing SCUP amendment process and possible action to provide direction to staff.
- c. Jurisdictional enforcement of state and local regulations on streets within La Porte city limits.

16. ADMINISTRATIVE REPORTS

17. COMMISSION COMMENTS on matters appearing on the agenda or inquiry of staff regarding specific factual information or existing policy.

18. ADJOURN

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received 24 hours prior to the meetings. Please contact Patrice Fogarty, City Secretary, at 281-470-5019.

CERTIFICATION

I certify that a copy of the Thursday, September 21, 2017, agenda of items to be considered by the Planning and Zoning Commission was posted on the City Hall bulletin board on the ____ day of _____, 2017.

Title: _____

**City of La Porte, Texas
Planning and Zoning Commission**



September 21, 2017

AGENDA ITEM 3

Consider approval of the Meeting Minutes
from August 17, 2017

Minutes to be provided at the meeting

**City of La Porte, Texas
Planning and Zoning Commission**



September 21 2017

AGENDA ITEM 4

Consider approval of a Major Development Site Plan (#17-83000002)
to allow for construction of a new Warehouse Facility
located at 1302 Wharton Weems Blvd.

*Ian Clowes, City Planner
Planning and Development Department
City of La Porte, Texas*

Planning and Development Department Staff Report

ISSUE

Should the Planning and Zoning Commission approve a request by Kevin Polasek of Terra Associates, Inc. for a Major Development Site Plan for a new warehouse located at 1302 Wharton Weems Blvd?

RECOMMENDATION

Staff recommends approval of the proposed Major Development Site Plan as submitted.

DISCUSSION

Applicant/Property Owner:

Terra Associates, Inc./Liberty Property Trust

Applicant's Request:

The applicant is seeking to construct a new warehouse facility on a 34.69 acre tract of land. The proposed facility will be a 600,154 square foot building with associated development, including parking, drainage, utilities, landscaping, etc. The subject site currently is empty. The attached Exhibit A is the proposed site development plan and other information provided by the applicant.

Background Information:

The subject site is 34.69 acres in size, and is platted as part of the Port Crossing Industrial Park. This site is located at the southeast corner of S16th and Wharton Weems Blvd, west of SH 146. The attached Exhibit B is an Area Map showing the location of the subject property.

The site is part of the Port Crossing SCUP and is designated as a Business Industrial site in the general plan. The proposed building is permitted as part of the approved SCUP.

Analysis:

This site development plan was reviewed according to the provisions of Chapter 86-7 (c). Because the overall site is greater than 10 acres in size, it requires consideration by the Planning and Zoning Commission. The site plan is also subject to all applicable requirements of the city's Zoning Ordinance (Chapter 106 of the city's Code of

Ordinances). Planning staff has reviewed the proposed site development plan and concluded that the application complies with all applicable code requirements. The following is a description of staff's analysis of various considerations:

Site Improvements.

The site will include a 600,154 square foot building, new parking lot with a total of 417 automobile parking spaces, utility connections, landscaping, and drainage improvements.

Landscaping.

The site development plan includes proposed landscaping in accordance with the provisions of Section 106-800 of the Code of Ordinances. The applicant is proposing trees in planters within the parking lot areas in order to visually break up the parking lot as well as provide future shade relief. Staff has reviewed the landscaping proposed and finds that it is consistent with the landscaping required in Section 106-800 of the Code of Ordinances.

Parking and circulation.

Section 106-839 of the Code of Ordinances outlines the city's parking requirements for warehouse/distribution uses. The requirements are as follows for this development: 4 minimum, plus 3 per 1,000 S.F. of office space plus 1.5 per non-office employee. In this case a total of 300 parking spaces are required by code. The applicant is proposing a total of 417 car parking spaces with the development. The applicant is also providing the necessary ADA parking spaces required.

The proposed driveways comply with all separation, width, radius and other dimensions outlined in Section 106-835, Figure 10-3. This is a standard practice for all development in the city.

Drainage and detention.

The City Engineer has reviewed the proposed drainage plan and has determined that it meets the required standards..

Utilities.

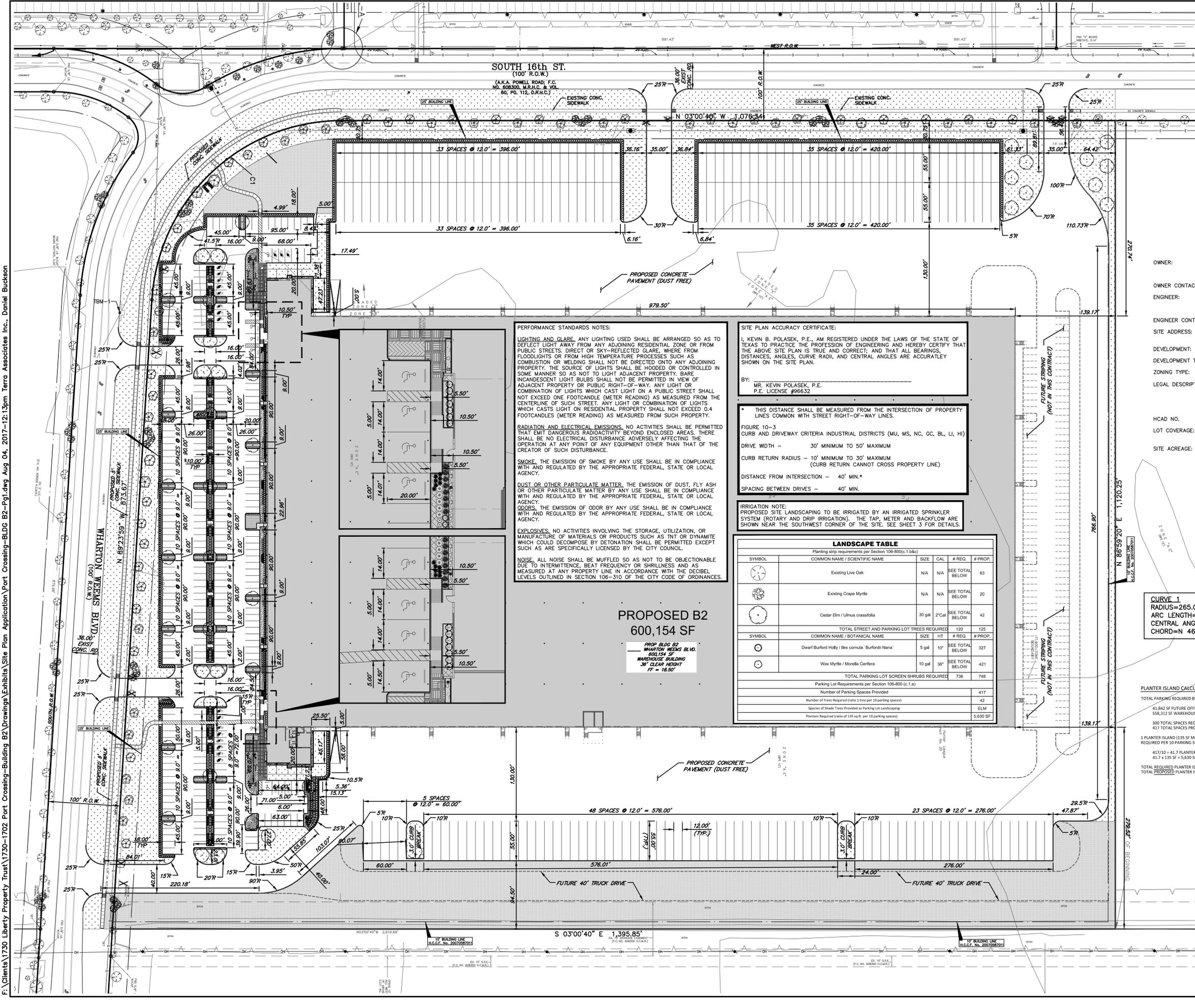
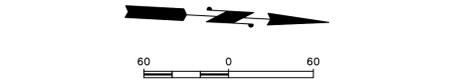
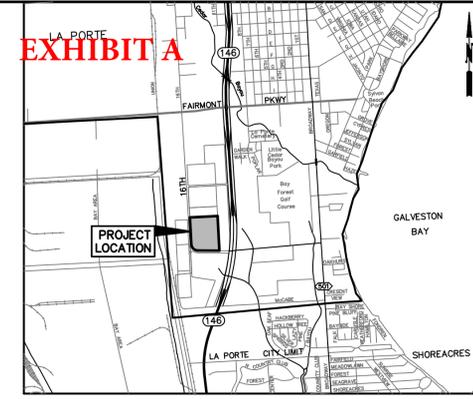
The site is already served by existing water and sewer facilities.

Conclusion:

Based on the analysis above, staff finds that the proposed Major Development Site Plan for the Port Crossing complies with the various applicable code requirements and should be considered for approval.

ATTACHMENTS

- Exhibit A: Port Crossing B-2 Site Plan
- Exhibit B: Area Map



PERFORMANCE STANDARDS NOTES:

LIGHTING AND GLARE: ANY LIGHTING USED SHALL BE ARRANGED SO AS TO DEFLECT LIGHT AWAY FROM ANY ADJOINING RESIDENTIAL ZONE OR FROM PUBLIC STREETS DIRECT OR SKY-REFLECTED GLARE, WHERE FROM FLOODLIGHTS OR FROM HIGH TEMPERATURE PROCESSES SUCH AS COMBUSTION OR WELDING SHALL NOT BE DIRECTED ONTO ANY ADJOINING PROPERTY. THE SOURCE OF LIGHTS SHALL BE HOODED OR CONTROLLED IN SOME MANNER SO AS NOT TO LIGHT ADJACENT PROPERTY. BARE INCANDESCENT LIGHT BULBS SHALL NOT BE PERMITTED IN VIEW OF ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. ANY LIGHT OR COMBINATION OF LIGHTS WHICH CAST LIGHT ON A PUBLIC STREET SHALL NOT EXCEED ONE FOOTCANDLE (METER READING) AS MEASURED FROM THE CENTERLINE OF SUCH STREET. ANY LIGHT OR COMBINATION OF LIGHTS WHICH CASTS LIGHT ON RESIDENTIAL PROPERTY SHALL NOT EXCEED 0.4 FOOTCANDLES (METER READING) AS MEASURED FROM SUCH PROPERTY.

RADIATION AND ELECTRICAL EMISSIONS: NO ACTIVITIES SHALL BE PERMITTED THAT EMIT DANGEROUS RADIOACTIVITY BEYOND ENCLOSED AREAS. THERE SHALL BE NO ELECTRICAL DISTURBANCE ADVERSELY AFFECTING THE OPERATION AT ANY POINT OF ANY EQUIPMENT OTHER THAN THAT OF THE CREATOR OF SUCH DISTURBANCE.

SMOKE: THE EMISSION OF SMOKE BY ANY USE SHALL BE IN COMPLIANCE WITH AND REGULATED BY THE APPROPRIATE FEDERAL, STATE OR LOCAL AGENCY.

DUST OR OTHER PARTICULATE MATTER: THE EMISSION OF DUST, FLY ASH OR OTHER PARTICULATE MATTER BY ANY USE SHALL BE IN COMPLIANCE WITH AND REGULATED BY THE APPROPRIATE FEDERAL, STATE OR LOCAL AGENCY.

ODORS: THE EMISSION OF ODOR BY ANY USE SHALL BE IN COMPLIANCE WITH AND REGULATED BY THE APPROPRIATE FEDERAL, STATE OR LOCAL AGENCY.

EXPLOSIVES: NO ACTIVITIES INVOLVING THE STORAGE, UTILIZATION, OR MANUFACTURE OF MATERIALS OR PRODUCTS SUCH AS TNT OR DYNAMITE WHICH COULD DECOMPOSE BY DETONATION SHALL BE PERMITTED EXCEPT SUCH AS ARE SPECIFICALLY LICENSED BY THE CITY COUNCIL.

NOISE: ALL NOISE SHALL BE MUFFLED SO AS NOT TO BE OBJECTIONABLE DUE TO INTERMITTENCE, BEAT FREQUENCY OR SHRILLNESS AND AS MEASURED AT ANY PROPERTY LINE IN ACCORDANCE WITH THE DECIBEL LEVELS OUTLINED IN SECTION 106-310 OF THE CITY CODE OF ORDINANCES.

SITE PLAN ACCURACY CERTIFICATE:

I, KEVIN B. POLASEK, P.E., AM REGISTERED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THE ABOVE SITE PLAN IS TRUE AND CORRECT; AND THAT ALL BEARINGS, DISTANCES, ANGLES, CURVE RADII, AND CENTRAL ANGLES ARE ACCURATELY SHOWN ON THE SITE PLAN.

BY: MR. KEVIN POLASEK, P.E.
P.E. LICENSE #96632

* THIS DISTANCE SHALL BE MEASURED FROM THE INTERSECTION OF PROPERTY LINES COMMON WITH STREET RIGHT-OF-WAY LINES.

FIGURE 10-3
CURB AND DRIVEWAY CRITERIA INDUSTRIAL DISTRICTS (MU, MS, NC, GC, BL, LI, HI)

DRIVE WIDTH - 30' MINIMUM TO 50' MAXIMUM
CURB RETURN RADIUS - 10' MINIMUM TO 30' MAXIMUM (CURB RETURN CANNOT CROSS PROPERTY LINE)
DISTANCE FROM INTERSECTION - 40' MIN.*
SPACING BETWEEN DRIVES - 40' MIN.

IRRIGATION NOTE:
PROPOSED SITE LANDSCAPING TO BE IRRIGATED BY AN IRRIGATED SPRINKLER SYSTEM (ROTARY AND DRIP IRRIGATION). THE TAP, METER AND BACKFLOW ARE SHOWN NEAR THE SOUTHWEST CORNER OF THE SITE. SEE SHEET 3 FOR DETAILS.

LANDSCAPE TABLE
Planting strip requirements per Section 106-800(c.1.2&c)

SYMBOL	COMMON NAME / SCIENTIFIC NAME	SIZE	CAL	# REQ.	# PROP.
(Symbol)	Existing Live Oak	N/A	N/A	SEE TOTAL BELOW	63
(Symbol)	Existing Grape Myrtle	N/A	N/A	SEE TOTAL BELOW	20
(Symbol)	Cedar Elm / Ulmus crassifolia	30 gal	2"CA	SEE TOTAL BELOW	42
TOTAL STREET AND PARKING LOT TREES REQUIRED				120	125
SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE	HT	# REQ.	# PROP.
(Symbol)	Dwarf Burford Holly / Ilex cornuta 'Burfordii Nana'	5 gal	10"	SEE TOTAL BELOW	327
(Symbol)	Wax Myrtle / Morella cerifera	10 gal	36"	SEE TOTAL BELOW	421
TOTAL PARKING LOT SCREEN SHRUBS REQUIRED				736	748
Parking Lot Requirements per Section 106-800 (c.1.e)					
Number of Parking Spaces Provided					
Number of Trees Required (ratio 1 tree per 10 parking spaces)					
Species of Shade Trees Provided as Parking Lot Landscaping					
Planters Required (ratio of 155 sq.ft. per 10 parking spaces)					
417					
42					
ELM					
5,630 SF					

PROPOSED B2
600,154 SF

PROP BLDG B2
WHARTON WEEMS BLVD.
600,154 SF
WAREHOUSE BUILDING
36' CLEAR HEIGHT
FF = 18.50'

OWNER: LIBERTY PROPERTY, L.P.
8827 NORTH SAM HOUSTON PARKWAY WEST
HOUSTON, TX 77064

OWNER CONTACT: MR. KEN CHANG, P.E.

ENGINEER: TERRA ASSOCIATES, INC.
1445 N. LOOP WEST, SUITE 450
HOUSTON, TX 77008

ENGINEER CONTACT: MR. KEVIN POLASEK, P.E.

SITE ADDRESS: WHARTON WEEMS BLVD.
LA PORTE, TX 77571

DEVELOPMENT: PORT CROSSING-BUILDING B2

DEVELOPMENT TYPE: INDUSTRIAL

ZONING TYPE: PUD - PLANNED UNIT DEVELOPMENT

LEGAL DESCRIPTION: PORTION OF RESTRICTED RESERVE "I", BLOCK 3 OF PORT CROSSING AMENDING PLAT, AS RECORDED IN FILM CODE NO. 676291 OF THE MAP RECORDS, HARRIS COUNTY, TEXAS

HCAD NO. 129-217-003-0001

LOT COVERAGE: 13.78 AC. = 40%
34.69 AC.

SITE ACREAGE: 34.69 AC.

PARKING TABLE

41,842 SF FUTURE OFFICE:	3 PER 1,000 SF
558,312 SF WAREHOUSE:	126 SPACES REQUIRED
	1.5 PER NON-OFFICE EMPLOYEE
	(116 NON OFFICE EMPLOYEES)
	174 SPACES REQUIRED
300 TOTAL SPACES REQUIRED	
417 TOTAL SPACES PROVIDED	
184 POSSIBLE NON-OFFICE EMPLOYEES (INCLUDING FUTURE SPACES SHOWN)	
9 ADA SPACES REQUIRED	
10 ADA SPACES PROVIDED	
LEED CREDIT PREFERRED PARKING FOR LOW-EMITTING AND FUEL EFFICIENT VEHICLES (5% TOTAL)	
21 SPACES REQUIRED AND 22 SPACES PROVIDED	

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PLANTER ISLAND CALCULATIONS

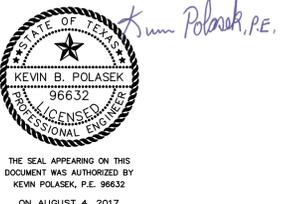
TOTAL PARKING REQUIRED BY CODE FOR TRANSPORTATION WAREHOUSING:
41,842 SF FUTURE OFFICE: 3 PER 1,000 SF = 126 SPACES
558,312 SF WAREHOUSE: 1.5 PER NON-OFFICE EMPLOYEE = 174 SPACES

300 TOTAL SPACES REQUIRED
417 TOTAL SPACES PROVIDED

1 PLANTER ISLAND (135 SF MINIMUM) REQUIRED PER 10 PARKING SPACES

417/10 = 41.7 PLANTERS REQUIRED
41.7 x 135 SF = 5,630 SF PLANTERS REQUIRED

TOTAL REQUIRED PLANTER ISLAND SF = 5,630 SF
TOTAL PROPOSED PLANTER ISLAND SF = 5,630 SF



REV. NO.	DESCRIPTION	DATE	APP.
	LIBERTY PROPERTY, L.P. PORT CROSSING - BLDG B2 SITE PLAN - BUILDING B2 XXX WHARTON WEEMS BLVD.		

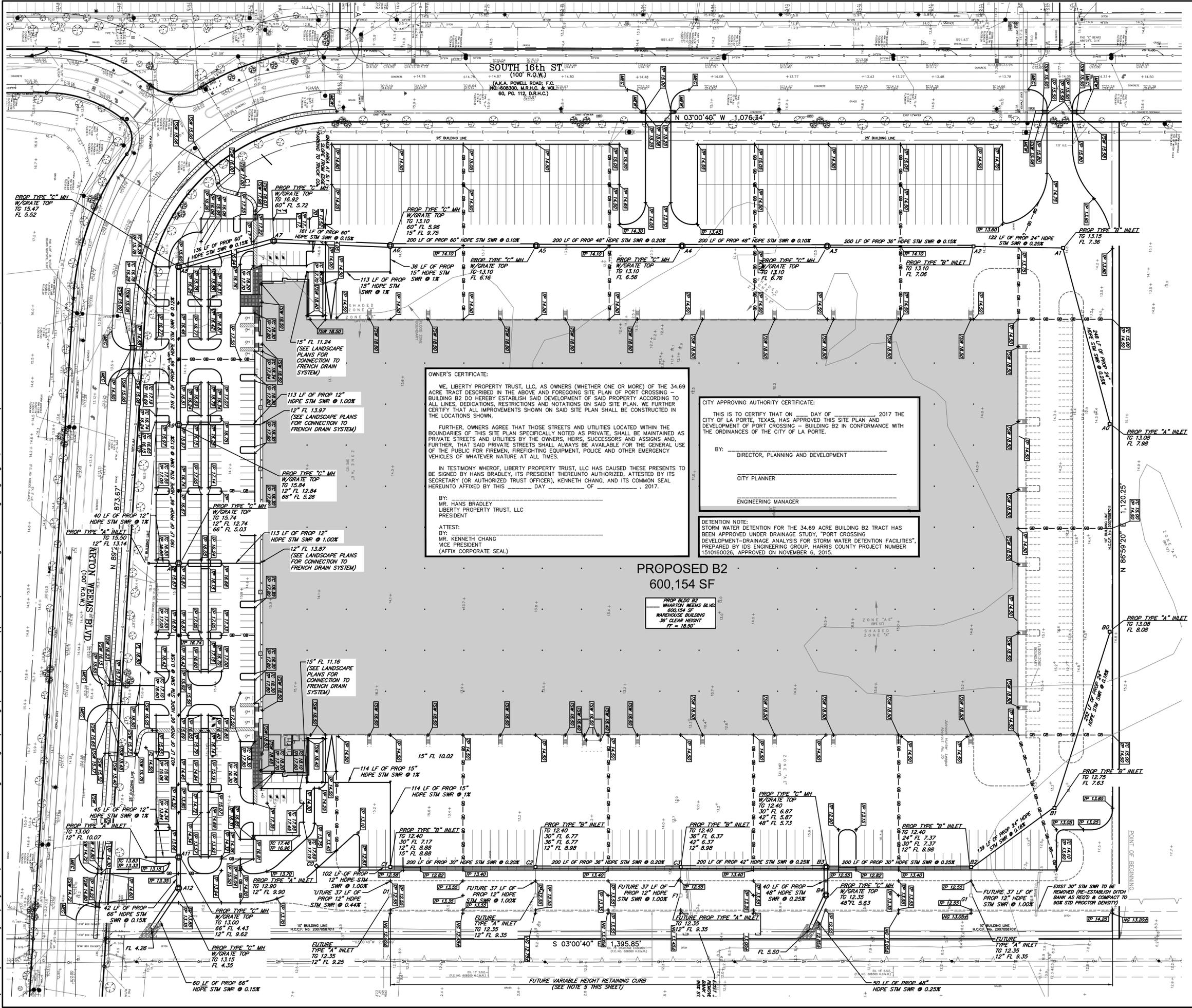
TERRA ASSOCIATES, INC.
CONSULTING ENGINEERS
LANDSCAPE ARCHITECTS

1445 N. LOOP WEST - SUITE 450
HOUSTON, TEXAS 77008
713-993-0333
TBPE Registration No.: F-003832

DRAWN BY: TD SCALE: 1" = 60'
CHECKED BY: KBP DATE: AUGUST 2017

PROJECT No. 1730-1702
CONTRACT:
SHEET 1 OF 4

F:\Clients\1730 Liberty Property Trust\1730-1702 Port Crossing-Building B2\Drawings\Exhibits\Site Plan Application\Port Crossing-Bldg B2-Pg2.dwg Aug 04, 2017-12:14pm Terra Associates Inc., Daniel Buckner



FLOODPLAIN INFORMATION
 THIS TRACT IS IN FLOOD ZONE SHADED ZONE "X" (500-YR FLOODPLAIN), EXCEPT AREAS LABELED AS BEING IN THE ZONE "AE" (100-YR FLOODPLAIN) ACCORDING TO THE FEMA MAP #4820100945M, DATED JANUARY 6, 2017. 100-YEAR BFE IS DETERMINED TO BE ELEVATION 12. PROPOSED FINISHED FLOOR OF BUILDING IS 18.50.

BENCHMARK INFORMATION
 ALL ELEVATIONS SHOWN HEREON ARE BASED ON U.S. SURVEY FOOT; NAVD 88 (2001 ADJUSTMENT).
 H.C.F.R.M. NO. 010290; ELEVATION=6.06'
 BRASS DISK LOCATED FROM HIGHWAY 146 AND CHOATE ROAD. TRAVEL WEST ON CHOATE ROAD 0.2 MILES. MONUMENT IS AT THE CENTER OF HEADWALL BETWEEN THE EAST AND WEST BOUND LANES OF CHOATE ROAD.

PROJECT TM-1; ELEVATION=13.52'
 BOX CUT ON TYPE C-2 INLET ON NORTH SIDE OF WHARTON WEEMS BOULEVARD APPROXIMATELY 275 FEET EAST OF INTERSECTION OF WHARTON WEEMS BOULEVARD AND SOUTH 16TH STREET.

PROJECT TM-4; ELEVATION=12.81'
 BOX CUT ON TYPE C-1 INLET ON NORTH SIDE OF WHARTON WEEMS BOULEVARD APPROXIMATELY 90 FEET WEST OF INTERSECTION OF WHARTON WEEMS BOULEVARD AND STATE HIGHWAY 146 FEEDER ROAD.

LEGEND

- FF 18.50 FINISHED FLOOR
- TG 13.10 TOP OF GRATE
- TC 16.63 TOP OF CURB
- TP 16.13 TOP OF PAVEMENT
- TSW 17.42 TOP OF SIDEWALK
- TW 19.00 TOP OF WALL
- MEP MATCH EXISTING PAVEMENT
- MEC MATCH EXISTING CURB
- MEW MATCH EXISTING WALK
- 1.5% SLOPE ARROW
- TC 15.38 G 14.78 EXISTING TOP OF CURB
- EXISTING TOP OF PAVEMENT
- EXISTING TYPE C INLET
- EXISTING TYPE C-1 INLET
- EXISTING TYPE C-2 INLET
- EXISTING TYPE E INLET
- EXISTING GRATE INLET
- EXISTING MANHOLE
- PROPOSED INLET
- PROPOSED MANHOLE
- PROPOSED STORM SEWER
- EXTREME SHEET FLOW

OWNER'S CERTIFICATE:

WE, LIBERTY PROPERTY TRUST, LLC, AS OWNERS (WHETHER ONE OR MORE) OF THE 34.69 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING SITE PLAN OF PORT CROSSING - BUILDING B2 DO HEREBY ESTABLISH SAID DEVELOPMENT OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS ON SAID SITE PLAN. WE FURTHER CERTIFY THAT ALL IMPROVEMENTS SHOWN ON SAID SITE PLAN SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN.

FURTHER, OWNERS AGREE THAT THOSE STREETS AND UTILITIES LOCATED WITHIN THE BOUNDARIES OF THIS SITE PLAN SPECIFICALLY NOTED AS PRIVATE, SHALL BE MAINTAINED AS PRIVATE STREETS AND UTILITIES BY THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS AND, FURTHER, THAT SAID PRIVATE STREETS SHALL ALWAYS BE AVAILABLE FOR THE GENERAL USE OF THE PUBLIC FOR FIREMEN, FIREFIGHTING EQUIPMENT, POLICE AND OTHER EMERGENCY VEHICLES OF WHATEVER NATURE AT ALL TIMES.

IN TESTIMONY WHEREOF, LIBERTY PROPERTY TRUST, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY HANS BRADLEY, ITS PRESIDENT THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY (OR AUTHORIZED TRUST OFFICER), KENNETH CHANG, AND ITS COMMON SEAL HERETO AFFIXED BY THIS DAY OF _____, 2017.

BY: MR. HANS BRADLEY
 LIBERTY PROPERTY TRUST, LLC
 PRESIDENT

ATTEST:
 MR. KENNETH CHANG
 VICE PRESIDENT
 (AFFIX CORPORATE SEAL)

CITY APPROVING AUTHORITY CERTIFICATE:

THIS IS TO CERTIFY THAT ON _____ DAY OF _____, 2017 THE CITY OF LA PORTE, TEXAS, HAS APPROVED THIS SITE PLAN AND THE DEVELOPMENT OF PORT CROSSING - BUILDING B2 IN CONFORMANCE WITH THE ORDINANCES OF THE CITY OF LA PORTE.

BY: _____
 DIRECTOR, PLANNING AND DEVELOPMENT

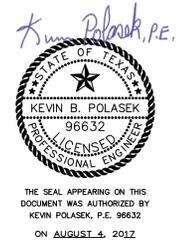
CITY PLANNER

ENGINEERING MANAGER

DETENTION NOTE:
 STORM WATER DETENTION FOR THE 34.69 ACRE BUILDING B2 TRACT HAS BEEN APPROVED UNDER DRAINAGE STUDY, "PORT CROSSING - DEVELOPMENT-DRAINAGE ANALYSIS FOR STORM WATER DETENTION FACILITIES", PREPARED BY IDS ENGINEERING GROUP, HARRIS COUNTY PROJECT NUMBER 1510160026, APPROVED ON NOVEMBER 6, 2015.

**PROPOSED B2
 600,154 SF**

PROPOSED BLDG B2
 WHARTON WEEMS BLVD.
 600,154 SF
 WAREHOUSE BUILDING
 36' CLEAR HEIGHT
 17' = 18.50'



REV. NO.	DESCRIPTION	DATE	APP.

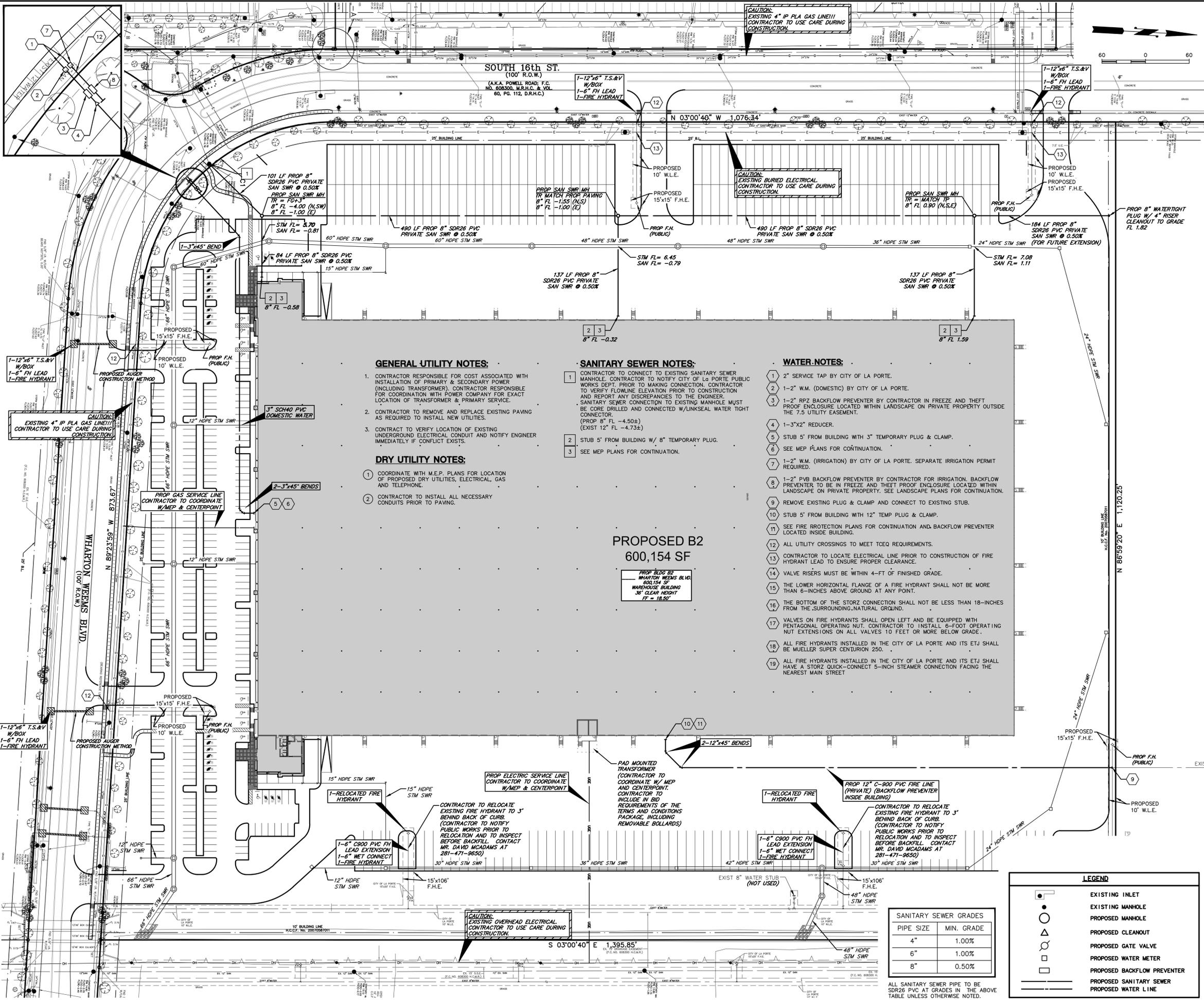
**LIBERTY PROPERTY, L.P.
 PORT CROSSING - BLDG B2
 SITE GRADING AND
 DRAINAGE PLAN**

TERRA ASSOCIATES, INC. 1445 N. LOOP WEST - SUITE 450
 HOUSTON, TEXAS 77008
 713-993-0333
 TBPE Registration No.: F-003832

ASSOCIATES, INC. CONSULTING ENGINEERS LANDSCAPE ARCHITECTS

DRAWN BY: DAB SCALE: 1" = 60' PROJECT No. 1730-1702 CONTRACT: _____
 CHECKED BY: KBP DATE: AUGUST 2017 SHEET 2 OF 4

F:\Clients\1730 Liberty Property Trust\1730-1702 Port Crossing-Bldg B2\Drawings\Exhibits\Site Plan Application\Port Crossing-Bldg B2-Pg3.dwg Aug 04, 2017-12:14pm Terra Associates Inc., Daniel Buckson



FLOODPLAIN INFORMATION:
 THIS TRACT IS IN FLOOD ZONE SHADED ZONE "X" (500-YR FLOODPLAIN), EXCEPT AREAS LABELED AS BEING IN THE ZONE "AE" (100-YR FLOODPLAIN) ACCORDING TO THE FEMA MAP #4820C0945M, DATED JANUARY 6, 2017. 100-YEAR BFE IS DETERMINED TO BE ELEVATION 12. PROPOSED FINISHED FLOOR OF BUILDING IS 18.50.

BENCHMARK INFORMATION:
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 H.C.E.R.M. NO. 010290; ELEVATION=6.06'
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PROJECT TBM-1: ELEVATION=13.52'
 BOX CUT ON TYPE C-2 INLET ON NORTH SIDE OF WHARTON WEEMS BOULEVARD APPROXIMATELY 275 FEET EAST OF INTERSECTION OF WHARTON WEEMS BOULEVARD AND SOUTH 16TH STREET.

PROJECT TBM-4: ELEVATION=12.81'
 BOX CUT ON TYPE C-1 INLET ON NORTH SIDE OF WHARTON WEEMS BOULEVARD APPROXIMATELY 90 FEET WEST OF INTERSECTION OF WHARTON WEEMS BOULEVARD AND STATE HIGHWAY 146 FEEDER ROAD.

GENERAL UTILITY NOTES:

- CONTRACTOR RESPONSIBLE FOR COST ASSOCIATED WITH INSTALLATION OF PRIMARY & SECONDARY POWER (INCLUDING TRANSFORMER). CONTRACTOR RESPONSIBLE FOR COORDINATION WITH POWER COMPANY FOR EXACT LOCATION OF TRANSFORMER & PRIMARY SERVICE.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING PAVING AS REQUIRED TO INSTALL NEW UTILITIES.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UNDERGROUND ELECTRICAL CONDUIT AND NOTIFY ENGINEER IMMEDIATELY IF CONFLICT EXISTS.

DRY UTILITY NOTES:

- COORDINATE WITH M.E.P. PLANS FOR LOCATION OF PROPOSED DRY UTILITIES, ELECTRICAL, GAS AND TELEPHONE.
- CONTRACTOR TO INSTALL ALL NECESSARY CONDUITS PRIOR TO PAVING.

SANITARY SEWER NOTES:

- CONTRACTOR TO CONNECT TO EXISTING SANITARY SEWER MANHOLE. CONTRACTOR TO NOTIFY CITY OF LA PORTE PUBLIC WORKS DEPT. PRIOR TO MAKING CONNECTION. CONTRACTOR TO VERIFY FLOWLINE ELEVATION PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER. SANITARY SEWER CONNECTION TO EXISTING MANHOLE MUST BE CORE DRILLED AND CONNECTED W/LINKSEAL WATER TIGHT CONNECTOR. (PROP 8" FL = 4.50±) (EXIST 12" FL = 4.73±)
- STUB 5' FROM BUILDING W/ 8" TEMPORARY PLUG.
- SEE MEP PLANS FOR CONTINUATION.

WATER NOTES:

- 2" SERVICE TAP BY CITY OF LA PORTE.
- 1-2" W.M. (DOMESTIC) BY CITY OF LA PORTE.
- 1-2" RP2 BACKFLOW PREVENTER BY CONTRACTOR IN FREEZE AND THEFT PROOF ENCLOSURE LOCATED WITHIN LANDSCAPE ON PRIVATE PROPERTY OUTSIDE THE 7.5 UTILITY EASEMENT.
- 1-3"x2" REDUCER.
- STUB 5' FROM BUILDING WITH 3" TEMPORARY PLUG & CLAMP.
- SEE MEP PLANS FOR CONTINUATION.
- 1-2" W.M. (IRRIGATION) BY CITY OF LA PORTE. SEPARATE IRRIGATION PERMIT REQUIRED.
- 1-2" PVB BACKFLOW PREVENTER BY CONTRACTOR FOR IRRIGATION. BACKFLOW PREVENTER TO BE IN FREEZE AND THEFT PROOF ENCLOSURE LOCATED WITHIN LANDSCAPE ON PRIVATE PROPERTY. SEE LANDSCAPE PLANS FOR CONTINUATION.
- REMOVE EXISTING PLUG & CLAMP AND CONNECT TO EXISTING STUB.
- STUB 5' FROM BUILDING WITH 12" TEMP PLUG & CLAMP.
- SEE FIRE PROTECTION PLANS FOR CONTINUATION AND BACKFLOW PREVENTER LOCATED INSIDE BUILDING.
- ALL UTILITY CROSSINGS TO MEET TCEQ REQUIREMENTS.
- CONTRACTOR TO LOCATE ELECTRICAL LINE PRIOR TO CONSTRUCTION OF FIRE HYDRANT LEAD TO ENSURE PROPER CLEARANCE.
- VALVE RISERS MUST BE WITHIN 4-FT OF FINISHED GRADE.
- THE LOWER HORIZONTAL FLANGE OF A FIRE HYDRANT SHALL NOT BE MORE THAN 6-INCHES ABOVE GROUND AT ANY POINT.
- THE BOTTOM OF THE STORZ CONNECTION SHALL NOT BE LESS THAN 18-INCHES FROM THE SURROUNDING NATURAL GROUND.
- VALVES ON FIRE HYDRANTS SHALL OPEN LEFT AND BE EQUIPPED WITH PENTAGONAL OPERATING NUT. CONTRACTOR TO INSTALL 6-FOOT OPERATING NUT EXTENSIONS ON ALL VALVES 10 FEET OR MORE BELOW GRADE.
- ALL FIRE HYDRANTS INSTALLED IN THE CITY OF LA PORTE AND ITS ETJ SHALL BE MUELLER SUPER CENTURION 250.
- ALL FIRE HYDRANTS INSTALLED IN THE CITY OF LA PORTE AND ITS ETJ SHALL HAVE A STORZ QUICK-CONNECT 5-INCH STEAMER CONNECTION FACING THE NEAREST MAIN STREET.

LEGEND

- EXISTING INLET
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED CLEANOUT
- PROPOSED GATE VALVE
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTER
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE

SANITARY SEWER GRADES

PIPE SIZE	MIN. GRADE
4"	1.00%
6"	1.00%
8"	0.50%

ALL SANITARY SEWER PIPE TO BE SDR26 PVC AT GRADES IN THE ABOVE TABLE UNLESS OTHERWISE NOTED.

LIBERTY PROPERTY, L.P.
PORT CROSSING - BLDG B2
SITE UTILITY PLAN

TERRA ASSOCIATES, INC.
 CONSULTING ENGINEERS
 LANDSCAPE ARCHITECTS

1445 N. LOOP WEST - SUITE 450
 HOUSTON, TEXAS 77008
 713-993-0333
 TBPE Registration No.: F-003832

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY KEVIN POLASEK, P.E. 96632 ON AUGUST 4, 2017.

REV. NO. DESCRIPTION DATE APP.

DRAWN BY: DAB SCALE: 1" = 60' PROJECT No. 1730-1702 CONTRACT: CHECKED BY: KBP DATE: AUGUST 2017 SHEET 3 OF 4

F:\Clients\1730 Liberty Property Trust\1730-1702 Port Crossing-Building B2\Drawings\Exhibits\Site Plan Application\Port Crossing-BLDG B2-Pg4.dwg Aug 04, 2017-12:14pm Terra Associates Inc., Daniel Buckeen

CITY OF LA PORTE STORM SEWER CALCULATION FORM																											
PROJECT: Port Crossing Building B2 DESIGN STORM 5 YR															PRINTED: 12:14 PM												
PROJ. NO.: 1730-1702 "b" 84.14															A= 34.56 Acres I= b/(d+Tc) ²												
PREPARED BY: DAS DATE: 08/03/17 "d" 17.80															Tc= 10 I= 6.12												
CHECKED BY: DATE: "e" 0.7881																											
FILENAME: Drainage Calcs Building B2.xls																											
LINE	MH or Inlet	AREA	"C"	"CA"	"TC"	"I"	Q	L	LINE	DESIGN	OTHER	FLOWLINE	ACT	HYD	ELEV. HYD. GRAD.	TOP OF	T.P. ELEV.	TP									
	FROM	INCR ac.	TOTAL ac.	min.	min.	min.	cfs	FT	SIZE IN.	SLOPE %	"N" VALUE	Q cfs	V fps	FALL FT	LOSS FT	UPSTM DNSTM	ACT V fps	HYD GRAD %	H	UPSTM DNSTM	PIPE DNSTM	UPSTM DNSTM	LESS HG				
A	0	0.89	0.89	0.85	0.76	10.00	6.12	4.63	248	24	0.25	0.011	13.40	4.3	0.62	0.00	7.98	7.36	1.48	0.030	0.074	11.65	11.57	9.36	13.08	13.15	1.43
A	1	0.73	1.62	0.85	1.38	10.00	6.12	8.43	122	24	0.25	0.011	13.40	4.3	0.31	0.00	7.36	7.06	2.69	0.099	0.121	11.57	11.45	9.06	13.15	13.10	1.58
A	2	2.18	3.80	0.85	3.23	10.00	6.12	19.78	200	36	0.15	0.011	30.60	4.3	0.30	0.00	7.06	6.76	2.80	0.063	0.125	11.45	11.33	9.76	13.10	13.10	1.65
A	3	2.56	6.36	0.85	5.41	10.00	6.12	33.10	200	48	0.10	0.011	53.80	4.3	0.20	0.00	6.76	6.56	2.64	0.038	0.076	11.33	11.25	10.56	13.10	13.10	1.77
A	4	2.58	8.94	0.85	7.60	10.00	6.12	46.53	200	48	0.20	0.011	76.08	6.1	0.40	0.00	6.56	6.16	3.70	0.075	0.150	11.25	11.10	10.16	13.10	13.10	1.85
A	5	2.55	11.49	0.85	9.77	10.00	6.12	59.80	200	60	0.10	0.011	97.55	5.0	0.20	0.00	6.16	5.96	3.05	0.038	0.075	11.10	11.02	10.96	13.10	13.10	2.00
A	6	3.07	14.56	0.85	12.38	10.00	6.12	75.78	161	60	0.15	0.011	119.47	6.1	0.24	0.00	5.96	5.71	3.86	0.060	0.097	11.02	10.93	10.71	13.10	16.92	2.08
A	7	0.19	14.75	0.85	12.54	10.00	6.12	76.76	136	60	0.15	0.011	119.47	6.1	0.20	0.00	5.71	5.51	3.91	0.062	0.084	10.93	10.84	10.51	16.92	15.47	5.99
A	8	0.9	15.88	0.85	13.50	10.00	6.12	82.65	216	66	0.12	0.011	137.78	5.8	0.26	0.00	5.51	5.25	3.48	0.043	0.093	10.84	10.75	10.75	15.47	15.84	4.63
A	9	1.0	16.59	0.85	14.10	10.00	6.12	86.34	190	66	0.12	0.011	137.78	5.8	0.23	0.00	5.25	5.02	3.64	0.047	0.090	10.61	10.52	10.52	15.84	15.74	5.23
A	10	0.83	17.42	0.85	14.81	10.00	6.12	90.66	403	66	0.15	0.011	154.04	6.5	0.60	0.00	5.02	4.42	3.82	0.052	0.209	10.13	9.92	9.92	15.74	13.00	5.61
A	11	1.60	19.02	0.85	16.17	10.00	6.12	98.99	42	66	0.15	0.011	154.04	6.5	0.06	0.00	4.42	4.35	4.17	0.062	0.026	9.88	9.85	9.85	13.00	13.15	3.12
A	12	Out	0.15	19.17	0.85	16.29	10.00	99.77	60	66	0.15	0.011	154.04	6.5	0.09	0.00	4.35	4.26	4.20	0.063	0.038	9.80	9.76	9.76	13.15		3.35
Starting HG (top of pipe into conveyance channel) = 9.76																											
B	0	0.88	0.88	0.85	0.75	10.00	6.12	4.58	252	24	0.18	0.011	11.37	3.6	0.45	0.00	8.08	7.63	1.46	0.029	0.07	10.19	10.11	9.63	13.08	12.75	2.89
B	1	0.57	1.45	0.85	1.23	10.00	6.12	7.55	139	24	0.18	0.011	11.37	3.6	0.25	0.00	7.63	7.38	2.40	0.079	0.11	10.11	10.00	9.38	12.75	12.40	2.64
B	2	1.91	3.63	0.85	3.09	10.00	6.12	18.89	200	30	0.25	0.011	24.29	5.0	0.50	0.00	7.38	6.88	3.85	0.151	0.302	10.00	9.70	9.38	12.40	12.40	2.40
B	3	2.16	13.93	0.85	11.84	10.00	6.12	72.50	40	48	0.25	0.011	85.07	6.8	0.10	1.15	5.73	5.63	5.77	0.182	0.073	9.70	9.63	9.63	12.40	12.35	2.70
B	4	0.25	14.18	0.85	12.05	10.00	6.12	73.80	50	48	0.25	0.011	85.07	6.8	0.13	0.00	5.63	5.50	5.88	0.188	0.094	9.60	9.50	9.50	12.35		2.75
Starting HG (top of pipe into conveyance channel) = 9.50																											
C	0	0.32	0.32	0.85	0.27	10.00	6.12	1.67	102	12	1.00	0.011	4.22	5.4	1.02	0.00	9.90	8.88	2.12	0.156	0.16	10.40	10.24	9.88	12.90	12.40	2.50
C	1	2.66	3.32	0.85	2.82	10.00	6.12	17.38	200	30	0.20	0.011	21.73	4.4	0.40	1.71	7.17	6.77	3.52	0.126	0.25	10.20	9.95	9.27	12.40	12.40	2.20
C	2	2.16	5.73	0.85	4.87	10.00	6.12	29.82	200	36	0.20	0.011	35.33	5.0	0.40	0.00	6.77	6.37	4.22	0.143	0.29	10.24	9.95	9.37	12.40	12.40	2.16
C	3	B3	2.16	8.14	0.85	6.92	10.00	42.36	200	42	0.25	0.011	59.58	6.2	0.50	0.00	6.37	5.87	4.41	0.126	0.25	9.95	9.70	9.37	12.40	12.40	2.45

D	1	C1	0.34	0.34	0.85	0.29	10.00	6.12	1.77	37	12	1.00	0.011	4.22	5.4	0.37	0.00	9.25	8.88	2.25	0.176	0.07	10.27	10.20	9.88	12.35	12.40	2.08
E	1	C2	0.25	0.25	0.85	0.21	10.00	6.12	1.30	37	12	1.00	0.011	4.22	5.4	0.37	0.00	9.35	8.98	1.66	0.095	0.04	10.27	10.24	9.98	12.35	12.40	2.08
F	1	C3	0.25	0.25	0.85	0.21	10.00	6.12	1.30	37	12	1.00	0.011	4.22	5.4	0.37	0.00	9.35	8.98	1.66	0.095	0.04	10.02	9.98	9.98	12.35	12.40	2.33
G	1	B2	0.27	0.27	0.85	0.23	10.00	6.12	1.41	37	12	1.00	0.011	4.22	5.4	0.37	0.00	9.35	8.98	1.79	0.111	0.04	10.04	10.00	9.98	12.35	12.40	2.31

CITY OF LA PORTE STORM SEWER CALCULATION FORM																											
PROJECT: Port Crossing Building B2 DESIGN STORM 100 YR															PRINTED: 12:14 PM												
PROJ. NO.: 1730-1702 "b" 125.40															A= 34.56 Acres I= b/(d+Tc) ²												
PREPARED BY: DAS DATE: 08/03/17 "d" 21.80															Tc= 10 I= 9.36												
CHECKED BY: DATE: "e" 0.7500																											
FILENAME: Drainage Calcs Building B2.xls																											
LINE	MANHOLE	AREA	"C"	"CA"	"TC"	"I"	Q	L	LINE	DESIGN	OTHER	FLOWLINE	ACT	HYD	ELEV. HYD. GRAD.	TOP OF	T.P. ELEV.	TP									
	FROM	INCR ac.	TOTAL ac.	min.	min.	min.	cfs	FT	SIZE IN.	SLOPE %	"N" VALUE	Q cfs	V fps	FALL FT	LOSS FT	UPSTM DNSTM	ACT V fps	HYD GRAD %	H	UPSTM DNSTM	PIPE DNSTM	UPSTM DNSTM	LESS HG				
A	0	0.89	0.89	0.85	0.76	10.00	9.36	7.08	248	24	0.25	0.011	13.40	4.3	0.62	0.00	7.98	7.36	2.26	0.070	0.173	12.84	12.67	9.36	13.08	13.15	0.24
A	1	0.73	1.62	0.85	1.38	10.00	9.36	12.89	122	24	0.25	0.011	13.40	4.3	0.31	0.00	7.36	7.06	4.11	0.232	0.283	12.67	12.39	9.06	13.15	13.10	0.48
A	2	2.18	3.80	0.85	3.23	10.00	9.36	30.25	200	36	0.15	0.011	30.60	4.3	0.30	0.00	7.06	6.76	4.28	0.147	0.293	12.39	12.10	9.76	13.10	13.10	0.71
A	3	2.56	6.36	0.85	5.41	10.00	9.36	50.62	200	48	0.10	0.011	53.80	4.3	0.20	0.00	6.76	6.56	4.03	0.089	0.177	12.10	11.92	10.56	13.10	13.10	1.00
A	4	2.58	8.94	0.85	7.60	10.00	9.36	71.16	200	48	0.20	0.011	76.08	6.1	0.40	0.00	6.56	6.16	5.67	0.175	0.350	11.92	11.57	10.16	13.10	13.10	1.18
A	5	2.55	11.49	0.85	9.77	10.00	9.36	91.46	200	60	0.10	0.011	97.55	5.0	0.20	0.00	6.16	5.96	4.66	0.088	0.176	11.57	11.39	10.96	13.10	13.10	1.53
A	6	3.07	14.56	0.85	12.38	10.00	9.36	115.89	161	60	0.15	0.011	119.47	6.1	0.24	0.00	5.96	5.71	5.91	0.141	0.227	11.39	11.17	10.71	13.10	16.92	1.71
A	7	0.19	14.75	0.85	12.54	10.00	9.36	117.41	136	60	0.15	0.011	119.47	6.1	0.20	0.00	5.71	5.51	5.98	0.145	0.197	11.17	10.97	10.51	16.92	15.47	5.75
A	8	0.9	15.88	0.85	13.50	10.00	9.36	126.40	216	66	0.12	0.011	137.78	5.8	0.26	0.00	5.51	5.25	5.32	0.101	0.218	10.97	10.75	10.75	15.47	15.84	4.50
A	9	1.0	16.59	0.85	14.10	10.00	9.36	132.05	190	66	0.12	0.011	137.78	5.8	0.23	0.00	5.25	5.02	5.56	0.110	0.209	10.73	10.52	10.52	15.84	15.74	5.11
A	10	0.83	17.42	0.85	14.81	10.00	9.36	138.66	403	66	0.15	0.011	154.04	6.5	0.60	0.00	5.02	4.42	5.84	0.122	0.490	10.41	9.92	9.92	15.74	13.00	5.33
A	11	1.60	19.02	0.85	16.17	10.00	9.36	151.39	42	66	0.15	0.011	154.04	6.5	0.06	0.00	4.42	4.35	6.38	0.145	0.061	9.92	9.85	9.85	13.00	13.15	3.08
A	12	Out	0.15	19.17	0.85	16.29	10.00	152.59	60	66	0.15	0.011	154.04	6.5	0.09	0.00	4.35	4.26	6.43	0.147	0.088	9.85	9.76	9.76	13.15		3.30
Starting HG (top of pipe into conveyance channel) = 9.76																											
B	0	0.88	0.88	0.85	0.75	10.00	9.36	7.00	252	24	0.18	0.011	11.37	3.6	0.45	0.00	8.08	7.63	2.23	0.068	0.17	11.03	10.86	9.63	13.08	12.75	2.05
B	1	0.57	1.45	0.85	1.23	10.00	9.36	11.54	139	24	0.18	0.011	11.37	3.6	0.25	0.00	7.63	7.38	3.68	0.186	0.26	10.86	10.60	9.38	12.75	12.40	1.89
B	2	1.91	3.63	0.85	3.09	10.00	9.36	28.89	200	30	0.25	0.011	24.29	5.0	0.50	0.00	7.38	6.88	5.89	0.354	0.707	10.60	9.89</				

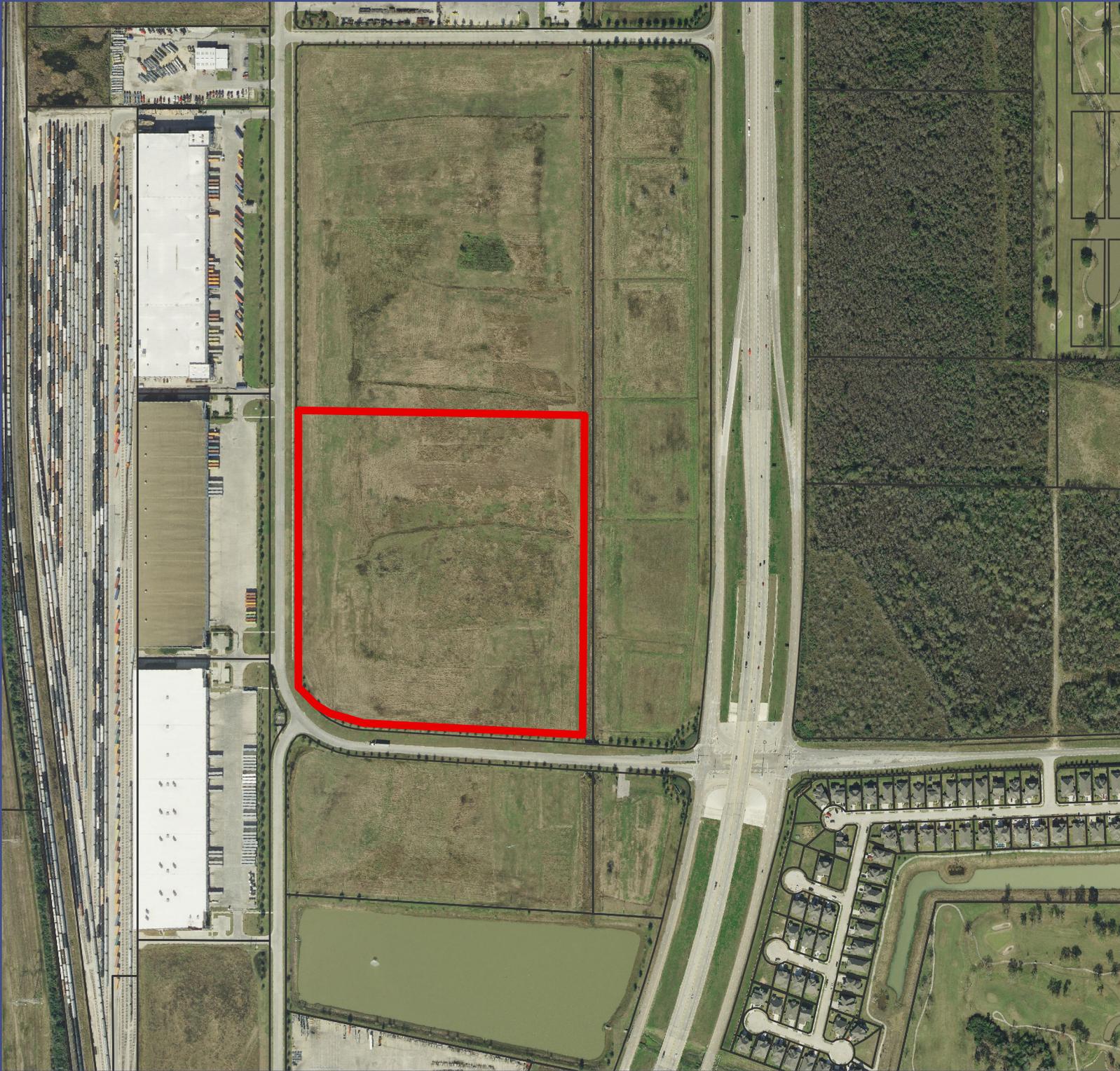


EXHIBIT B

AERIAL MAP

**Port Crossing
Building B-2**

 Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 506 feet

SEPTEMBER 2017
PLANNING DEPARTMENT



**City of La Porte, Texas
Planning and Zoning Commission**



September 21, 2017

AGENDA ITEMS 5-7

Special Conditional Use Permit #17-9100002

A request of Jeff Davis, applicant; on behalf of Port of Houston Authority of Harris County, Texas, owner; to amend the existing SCUP allowing for the hours of operation to be extended on a tract of land legally described as Reserve A, Block 1, Port of Houston Authority

Ian Clowes, City Planner

Planning and Development Department

City of La Porte, Texas

Planning and Development Department Staff Report

ISSUE

Consider a recommendation to the City Council on a request by Jeff Davis, applicant; on behalf of Port of Houston Authority of Harris County, Texas, owner; to amend the existing SCUP allowing for the hours of operation to be extended on a tract of land legally described as Reserve A, Block 1, Port of Houston Authority.

DISCUSSION

Location:

The subject site is located at 900 E. Barbours Cut Blvd. The site is home to the pre-check truck facility for the Port of Houston.

Applicant Request:

The property is owned and operated by the Port Authority of Houston and houses one of their pre-check trucking facilities. The site is operating under an existing SCUP which was approved in 2003. The current SCUP restricts the hours of operations for the pre-check facility between the hours of 7:00 AM and 6:00 PM. Due to an increase in traffic at the port and thus, an increase in trucks being processed through the pre-check facility, the applicant is requesting an extension of these hours. The newly proposed hours of operation would be between 7:00 AM and 11:00 PM.

Background Information:

The site is currently zoned Planned Unit Development (PUD) with an approved SCUP. The attached Exhibit B shows the zoning of the subject property and surrounding properties. The following table summarizes the surrounding zoning and land uses:

	Zoning	Land Use
North	City of Morgan's Point	Port of Houston
South	Residential, R-2 and Business Industrial, BI	Undeveloped/Truck Yard
West	Business Industrial, BI	Undeveloped
East	Business Industrial, BI	Undeveloped

The site is currently identified as Business Industrial in the Future Land Use Map.

Notification Requirements:

The public hearing notification requirements outlined in Section 106-171 were performed in accordance with all applicable code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 200 feet of the site within 10 days of the hearing; sign posted on the site within 15 days of the hearing. Additional notice of the public hearing was posted at City Hall and on the City’s website in compliance with state law.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

Land Use. Staff finds that approval of the proposed SCUP amendment would be consistent with the existing operations on currently on site. Additionally, by extending the hours of operation, it will allow for the facility manager to spread out the arrival and departure times of trucks in order to prevent back up onto Barbours Cut and to better manage truck traffic in this portion of the city.

Access. There is sufficient existing right-of-way access to the site.

Utilities. Water and sewer services are available along Barbours Cut. The proposed amendment will not have any impact on existing utilities.

Section 106-217 of the Zoning Ordinance outlines specific conditions for approval of SCUP applications. There are three different conditions that must be met in order to approve a SCUP. The following table identifies each of the three conditions and staff’s finding on each:

Condition:	Staff Analysis:
(1) That the specific use will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity.	The proposed amendment does not impact the specified use on site. If approved, the extended hours of operation will greatly improve the flow of trucking in this section of the city and could have a positive impact on traffic along Barbours Cut.
(2) That the conditions placed on such use as specified in each district have been met by the applicant.	Any and all conditions have been met at this time.
(3) That the applicant has agreed to meet any additional conditions imposed, based on	The applicant has agreed to adhere to any conditions that may be imposed upon them.

specific site constraints, and necessary to protect the public interest and welfare of the community.	
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RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission recommend approval of the proposed Special Conditional Use Permit Amendment #17-9100002.

ATTACHMENTS

- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Application
- Exhibit E: Current SCUP Document



EXHIBIT A

AERIAL MAP

**SCUP AMENDMENT
#17-9100002**

 Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 432 feet

SEPTEMBER 2017
PLANNING DEPARTMENT



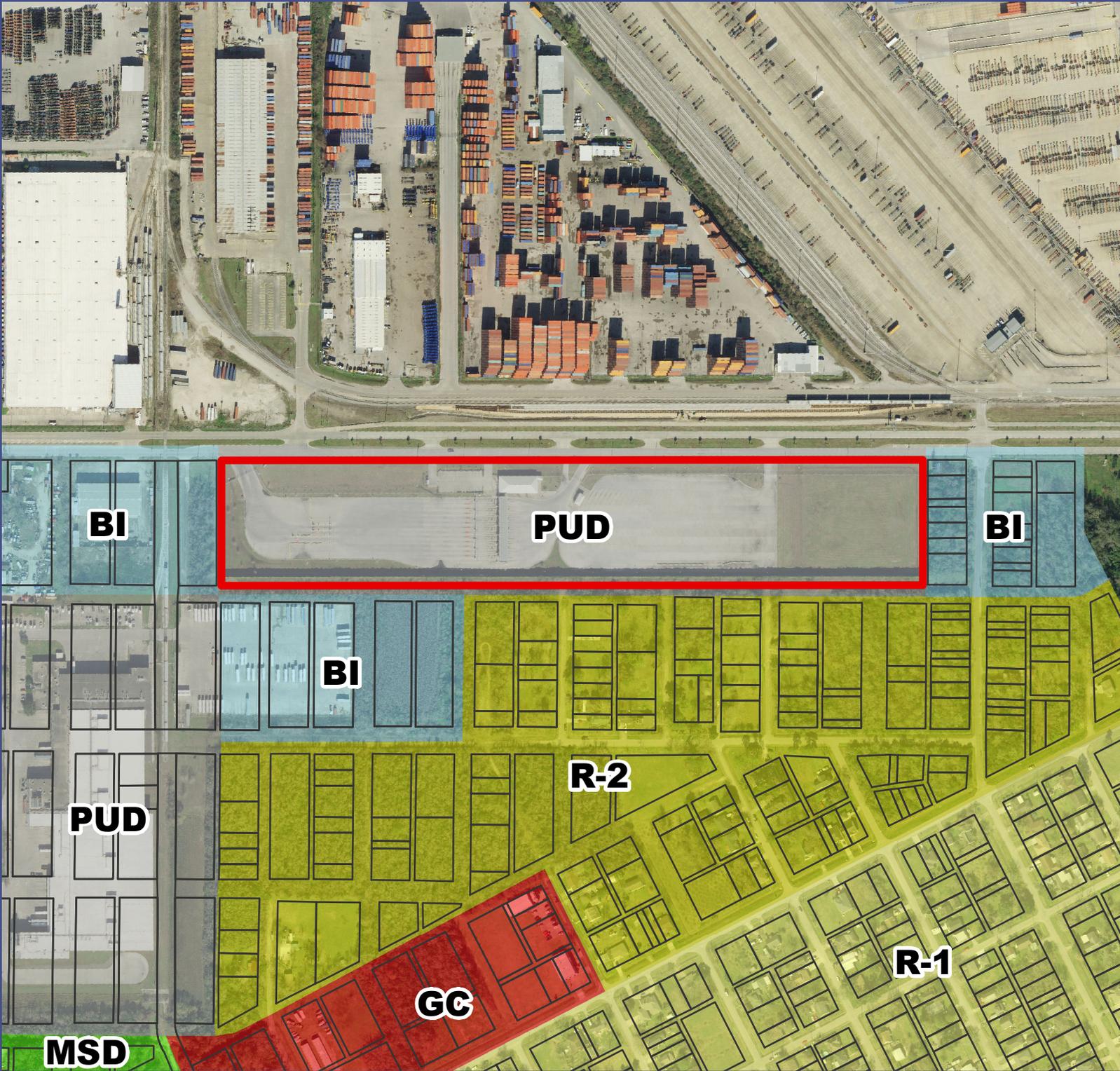


EXHIBIT B

ZONING MAP

**SCUP AMENDMENT
#17-9100002**

 Subject Parcel



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1 inch = 432 feet

SEPTEMBER 2017
PLANNING DEPARTMENT



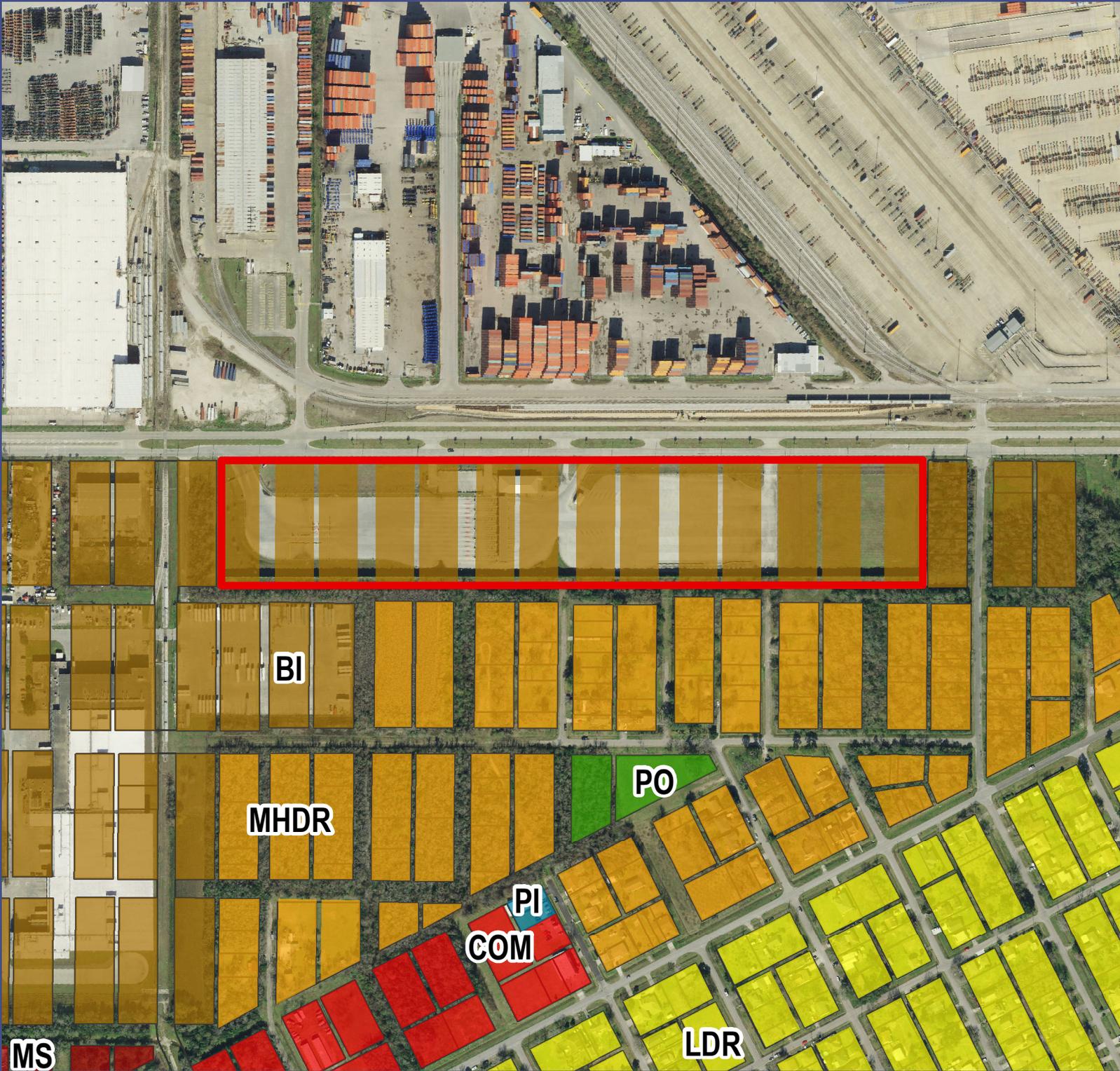


EXHIBIT C

FUTURE LAND USE MAP

SCUP AMENDMENT #17-9100002

 Subject Parcel



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1 inch = 432 feet



SEPTEMBER 2017
PLANNING DEPARTMENT



Special Conditional Use Permit Application

Planning and Development Department

PROJECT INFORMATION

Address where SCUP is being requested: 900 E Barbours Cut Blvd, La Porte, TX 77571

Legal description where SCUP is being requested: See attachment, Insert 1

HCAD Parcel Number where SCUP is being requested: 1333720010001

Zoning District: Planned Unit Development Lot area: 20.7 acres

A request for approval of a Special Conditional Use Permit is hereby made to the City of La Porte.

Description of Request: Amendment of Special Conditional Use Permit No. 03-001 permit condition. See attachment, Insert 2.

Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

PROPERTY OWNER(S) INFORMATION

Name: _____

Company (if applicable): Port of Houston Authority of Harris County, Texas

Address: 111 East Loop North

City: Houston State: TX Zip: 77029

Phone: (713) 670-2676 Email: [REDACTED]

AUTHORIZED AGENT (If other than owner)

Name: _____

Company (if applicable): _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

Agent's Signature: _____ Date: _____

Owner(s)' Signature(s): _____ Date: _____

STAFF USE ONLY:

Case Number:
17-91000002

Date Application Received:
8.16.17

Port of **Houston** Authority

111 East Loop North
Houston, Texas 77029-4326

Office: 713.670.2676
portofhouston.com

Jeff Davis, Chief Port Operations Officer
Email jdavis@poha.com

Draft

August 16, 2017

Mr. Richard Mancilla, P.E.
Director
Planning and Development Department
City of La Porte
City Hall
604 W Fairmont Parkway
La Porte, TX 77571

Re: Application for Amendment of Special Conditional Use Permit No. SCUP 03-011

Dear Mr. Mancilla:

This project description/justification letter is being submitted by the Port of Houston Authority of Harris County, Texas (the "Port Authority") in conjunction with its application to amend Special Conditional Use Permit No. SCUP 03-011 (the "SCUP"). We request that the application be approved by the City of La Porte Planning and Zoning Commission and City Council.

The city issued the SCUP to the Port Authority in August 2003. Since that time, the Port Authority has carried out the permit conditions as it constructed the pre-check truck facility permitted for operation at the site. These conditions included landscaping, irrigation, a screen wall with greenery, and neighborhood-friendly lighting. Most importantly, the Port Authority completed the required Property Owners Value Assurance Program, the result of which has been the creation of a significant "green" buffer area between the facility and the community.

To permit the Port Authority's operations to continue to keep pace with the ongoing changes in the industry since 2003, the Port Authority is seeking to update its business processes at the pre-check truck facility. These changes will permit the facility to operate more efficiently, which will not only better support terminal operations, but should also lessen the impact of these operations on its neighbors.

Accordingly, the Port Authority seeks to amend Permit Condition 11, to allow facility hours of operation to end at 11 p.m., rather than the current 6 p.m. With the successful



Draft

implementation of the Value Assurance Program, the potential impacts of facility operations on the community have been addressed. Facility operation over a longer day is expected to have a beneficial effect on the community, spreading total daily truck trips over an extended period, and thereby reducing day-time traffic density.

For your information, the Port Authority anticipates future improvements to the site as well; a preliminary conceptual plan for these improvements is enclosed. Future development of this area is expected to permit more efficient gate operations, which has the potential to move trucks through Port Authority facilities more quickly, and reduce time-to-time air emissions and road traffic.

We appreciate your consideration of the Port Authority's application. We believe that the local benefits the proposed changes could facilitate minimal impacts on the community, and the Port Authority's record of compliance with the permit conditions and continuing efforts to be a good neighbor all support the city's approval of this request.

We look forward to working with you on this matter.

Sincerely

Jeff Davis
Chief Port Operations Officer

Encl.



Application for Amendment of Special Conditional Use Permit No. SCUP 03-011

Insert 1

TRACT OF LAND DESCRIBED AS PARCEL EIGHT, BEING LOTS 17 TO 32 INCLUSIVE, IN BLOCK 433, LOTS 17 TO 32 INCLUSIVE, IN BLOCK 438, AND LOTS 1 TO 16 INCLUSIVE, IN BLOCK 439, CONVEYED TO HARRIS COUNTY HOUSTON SHIP CHANNEL NAVIGATION DISTRICT BY FIRST NATIONAL BANK IN HOUSTON, ET AL, BY DEED DATED APRIL 9, 1951 AND RECORDED IN COUNTY CLERK'S FILE NO. 872598 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF HARRIS COUNTY, TEXAS.

TRACT OF LAND DESCRIBED AS PARCEL ELEVEN, BEING LOTS 17 TO 28 INCLUSIVE, IN BLOCK 973, LOTS 2 TO 16 INCLUSIVE, IN BLOCK 974, AND ALL OF BLOCKS 975, 976, 977, 978 AND 979, CONVEYED TO HARRIS COUNTY HOUSTON SHIP CHANNEL NAVIGATION DISTRICT BY FIRST NATIONAL BANK IN HOUSTON BY DEED DATED APRIL 9, 1951 AND RECORDED IN COUNTY CLERK'S FILE NO. 872598 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF HARRIS COUNTY, TEXAS.

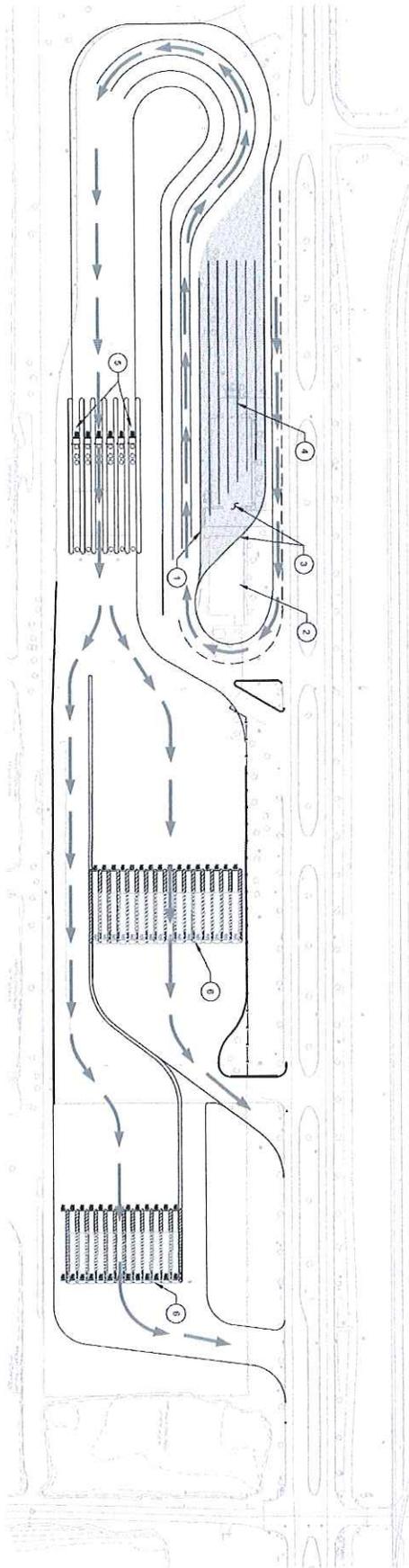
TRACT OF LAND BEING DESCRIBED AS LOT 1 IN BLOCK 974 OF THE TOWN OF LA PORTE DECREED TO THE PORT OF HOUSTON AUTHORITY BY JUDGMENT STYLED PORT OF HOUSTON AUTHORITY vs. E. A. WADSWORTH ET AL., IN CAUSE NO. 281900 IN THE COUNTY CIVIL COURT AT LAW, NO. 3 OF HARRIS COUNTY, TEXAS, DATED AUGUST 16, 1984.

A CALLED 1.148 ACRE TRACT OF LAND, BEING LOTS 17 TO 32, INCLUSIVE, IN BLOCK 439, SHOWN HEREON, AWARDED TO THE PORT OF HOUSTON AUTHORITY BY FINAL JUDGMENT DATED APRIL 28, 2003, IN CAUSE NO. 749,487 IN THE HARRIS COUNTY CIVIL COURT AT LAW FOUR (4), STYLED PORT OF HOUSTON AUTHORITY vs. DAVID MOORE, ET AL, AND RECORDED IN DOCUMENT NO, X048879 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF HARRIS COUNTY, TEXAS.

Insert 2

Amendment of Special Conditional Use Permit No. 03-001 permit condition 11 as follows:

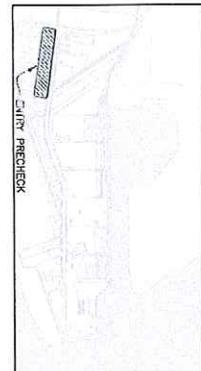
Hours of operation shall be no earlier than 7 am and no later than 11 [6] pm.



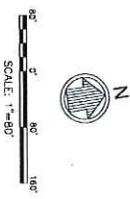
PREGATE PHASE 6
SCALE: 1" = 80'

LEGEND
→ TRUCK TRAFFIC

- KEYNOTES**
- 1 REMOVE EXISTING CURB
 - 2 REMOVE BUILDING
 - 3 CONSTRUCT NEW CURB AND PAVEMENT
 - 4 ADD ADDITIONAL QUEUE LANES
 - 5 OVR LANES
 - 6 PROCESSING LANES



KEY PLAN



PROJECT NO.	6
DATE	
PHASING 6 - PREGATE	



PORT OF HOUSTON AUTHORITY	
DESIGNED BY:	MOYFATT & NICHOL
CHECKED BY:	RMV
DATE SENT 2018:	
SCALE:	1" = 80'

APPROVED:	DATE:
APPROVED:	DATE:

NO.	REVISIONS	DATE



Special Conditional Use Permit Application

Planning and Development Department

AFFIDAVIT OF POSTING PLANNING AND ZONING COMMISSION PUBLIC HEARING

STATE OF TEXAS

COUNTY OF HARRIS

CITY OF LA PORTE

The undersigned hereby duly swears on oath and says:

1. A public hearing sign was provided to me by the City of La Porte's Planning and Development Department. I hereby attest that said sign will be posted on the following described property, which is subject to the application:
ADDRESS: 521-629 E Barbours Cut Blvd, La Porte, TX 77571
LEGAL DESCRIPTION: See attachment, Insert 1
2. In accordance with the provisions of Section 106-194 of the city's Code of Ordinances, I hereby attest that said sign will be posted on the described property for no less than fifteen (15) days prior to the scheduled public hearing; starting at least on the following date: August 23, 2017.
3. Said sign shall be placed on the property within 20 feet of the abutting street.
4. Said sign shall remain legible and visible for the entire fifteen (15) day posting period. If sign is damaged or missing, I hereby attest that I will contact the City of La Porte for a replacement sign.

Applicant's Signature

Applicant's Printed Name

Subscribed and sworn before me this _____ day of _____, _____ by _____
(Print Applicant's Name).

Notary Public

(Seal)

My commission expires: _____



Special Conditional Use Permit Application

Planning and Development Department

604 West Fairmont Parkway

La Porte, Texas 77571

281-470-5057

OVERVIEW

Approval of a Special Conditional Use Permit (SCUP) is required under the following circumstances:

1. To consider approval of certain uses identified as "Conditional Uses" in the city's Commercial and Industrial Use table (Section 106-310 of City of La Porte Code of Ordinances) and Residential Use table (Section 106-331).
2. When developing property in a Planned Unit Development (PUD) zone district, consideration of a SCUP is required in accordance with Section 106-659 of the Code of Ordinances.

SCUP requests are reviewed by the Planning and Zoning Commission as a public hearing. The Commission consists of residents of the community appointed by City Council. The Commission meets on the third Thursday of every month, as necessary. The Commission will forward a recommendation to the City Council for final consideration.

SUBMITTAL REQUIREMENTS

The following application package must be submitted to the Planning and Development Department at least three (3) weeks prior to the desired hearing date.

- Completed **application form**.
- Application fee** of \$400; nonrefundable.
- Site plan, conceptual site plan or general plan**, drawn to scale and dimensioned to show the location of proposed improvements for the development.
- Project description/justification letter** that thoroughly explains what is being requested and why such SCUP should be approved by the Planning and Zoning Commission and City Council.
- Affidavit of posting** fully executed that ensures the applicant will post the required public hearing sign on the property for at least 10 days prior to the Planning and Zoning Commission meeting date. Such sign will be provided by the Planning and Development Department.

PROCESS

- Upon receipt of a complete application package by the Planning and Development Department, the SCUP request will be scheduled for the next available Planning and Zoning Commission meeting date as a public hearing.
- The Planning and Development Department will provide the applicant with a Notice of Public Hearing sign that must be posted on the property where the SCUP is being requested. The sign must be posted on the property visible and within 20 feet from the abutting street for a minimum of 10 days before the scheduled public hearing.
- The Planning and Development Department will publish notice of the public hearing in the Bay Area Observer and at City Hall in conformance with legal requirements. Additionally, the city will send notice of the public hearing to all property owners within 200 feet of the subject property where the SCUP is being requested.

ORDINANCE NO. 1501- BBB

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF LA PORTE, CHAPTER 106, MORE COMMONLY REFERRED TO AS THE ZONING ORDINANCE OF THE CITY OF LA PORTE, BY GRANTING A SPECIAL CONDITIONAL USE PERMIT FOR THAT CERTAIN PARCEL OF LAND DESCRIBED AS FOLLOWS, TO-WIT: 20.769 ACRES ALONG EAST BARBOUR'S CUT BOULEVARD, BEING LOTS 17-32 BLOCK 438, LOTS 1-32 BLOCK 439 AND ADJOINING ALLEY, LOTS 1-16 BLOCK 974, LOTS 1-32 OF BLOCKS 975 THRU 979, AND ADJOINING ALLEYS WITHIN THESE BLOCKS AND PORTIONS OF 10TH, 11TH, 12TH AVENUES, BROWNELL, NUGENT, HOLMES AND CARROLL STREETS, OUT OF JOHNSON HUNTER SURVEY, ABSTRACT 35, LA PORTE, HARRIS COUNTY, TEXAS, FOR THE PURPOSE OF DEVELOPING A TRUCK PRE-CHECK FACILITY IN A PLANNED UNIT DEVELOPMENT (PUD) ZONE; MAKING CERTAIN FINDINGS OF FACT RELATED TO THE SUBJECT; FINDING COMPLIANCE WITH THE OPEN MEETINGS LAW; AND PROVIDING AN EFFECTIVE DATE HEREOF;

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LA PORTE:

"Section 1. The City Council of the City of La Porte hereby finds, determines and declares that heretofore, to-wit, on the 15th day of May, 2003, at 6:00 p.m. a Public Hearing was held before the Planning and Zoning Commission of the City of La Porte, Texas, pursuant to due notice as required by the Open Meetings Law, Chapter 551, Texas Government Code, to consider the question and the possible reclassification of the zoning classification of the hereinafter described parcels of land. There is attached to this Ordinance as Exhibit "A", and incorporated by reference herein and made a part hereof for all purposes, a copy of Notice of Public Hearing, which the City Council of the City of La Porte hereby finds was properly mailed to all owners of all properties located within two hundred feet (200') of the properties under consideration.

"Section 2. The publisher's affidavit of publication of notice of said hearing is attached hereto as Exhibit "B", incorporated by reference herein and made a part hereof for all purposes.

"Section 3. Immediately following such public hearing on May 15, 2003, the Planning and Zoning Commission of the City of La Porte met in regular session to consider changes in classification, which were the subject of such public hearing. The City Council of the City of La Porte is in receipt of the written recommendations of the City of La Porte Planning and Zoning

Commission, by letter dated May 16, 2003, a true copy of which letter is attached hereto as Exhibit "C", incorporated by reference herein and made a part hereof for all purposes.

"Section 4. Subsequent to receipt of the recommendation of the City of La Porte Planning and Zoning Commission, the City Council of the City of La Porte called a public hearing on the proposed classification changes and the recommendation of the Planning and Zoning Commission on the 9th day of June, 2003, at 6:00 p.m., and pursuant to due notice, to consider the recommendation of the Planning and Zoning Commission regarding the possible reclassification of the zoning classification of the hereinafter described parcels of land. There is attached to this Ordinance as Exhibit "D", incorporated by reference herein and made a part hereof for all purposes, a copy of the notice of public hearing.

"Section 5. The publisher's affidavit of publication of notice of said hearing is attached hereto as Exhibit "E", and incorporated by reference herein and made a part hereof for all purposes.

"Section 6. The conditions of said Conditional Use Permit are as set forth in the incorporated terms of the Special Conditional Use Permit, a true copy of which is attached hereto as Exhibit "F", "F-1", and "F-2", inclusive. The description of said parcels of land classified pursuant to said Special Conditional Use Permit are as follows, to-wit:

20.769 acres along East Barbour's Cut Boulevard; being lots 17-32, block 438, lots 1-32 block 439 and adjoining alley, lots 1-16, block 974, lots 1-32 of blocks 975 thru 979, and adjoining alleys within these blocks and portions of 10th, 11th, 12th Avenues, Brownell, Nugent, Holmes and Carroll Streets, out of the Johnson Hunter Survey, Abstract-35, City of La Porte, Harris County, Texas.

"Section 7. The City Council of the City of La Porte hereby finds, determines, and declares that all prerequisites of law have been satisfied and hereby determines and declares that the amendments to the City of La Porte Zoning Map and Classification contained in this

Ordinance as amendments thereto are desirable and in furtherance of the goals and objectives stated in the City of La Porte's Comprehensive Plan.

"Section 8. The City Council official finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the City Hall of the City for the time required by law preceding this meeting, as required by the Open Meetings Law, Chapter 551, Texas Government Code; and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter thereof has been discussed, considered and formally acted upon. The City Council further ratifies, approves and confirms such written notice and the contents and posting thereof.

"Section 9. This Ordinance shall be in effect from and after its passage and approval.

Passed and approved this the *1st* day of *August*, 2003.

CITY OF LA PORTE

By: *Norman Malone*
NORMAN MALONE, Mayor

ATTEST:

By: *Martha Gillett*
MARTHA GILLETT, City Secretary

APPROVED:
By: *Knox W. Askins*
KNOX W. ASKINS, City Attorney

City of La Porte
Special Conditional Use Permit # SCU 03-001

This permit is issued to: Port of Houston Authority
Owner or Agent

P.O. Box 2562 Houston, TX 77252
Address

For Development of: Port of Houston Authority Pre-check truck facility
Development Name

East Barbour's Cut Blvd, La Porte, TX
Address

Legal Description: 20.7 acres of land being lots 17-32 of block 438, lots 1-32 block 439 and adjoining alley, lots 1-16 block 974, lots 1-32 of blocks 975 through 979 and adjoining alleys within these blocks and portions of 10th, 11th, and 12th Aves., Brownell, Nugent, Holmes and Carroll Streets, out of the Johnson Hunter League, A-35 City of La Porte, Harris County, Texas.

Zoning: Planned Unit Development (PUD)

Use: Pre-check truck facility

Permit Conditions:

1. Adhere to the terms of the Property Owners Value Assurance Program (as described in Exhibit F-1).
2. Sign an interlocal agreement with the City of La Porte regarding the Property Owners Value Assurance Program.
3. Comply with the General Plan approved by the City as shown in the attached Exhibit F-2.
4. Ensure that at least 30 percent of the property consists of landscaping and/or screening.
5. Provide detailed landscape and screening plans during site plan submittal. Allow existing trees and shrubs to remain as natural buffer. Provide "in fill" plantings of trees and shrubs.
6. Provide an irrigation system to ensure that all landscaping and screening is properly maintained by the owner/developer.
7. Erect a sound wall constructed with a "rough" texture to decrease the likelihood of graffiti and to increase the likelihood that vines/greenery will attach to the wall.
8. Adhere to the provisions and details shown in facilities lighting plan. Ensuring that all illumination occurs on site and does not affect nearby residences.
9. Enhance the building façade so that it is architecturally and aesthetically pleasing. The Planning and Zoning Commission must approve the design.
10. Prohibit the overnight parking of trucks at the facility between 6 pm and 6 am.
11. Hours of operation shall be no earlier than 7 am and no later than 6 pm.
12. Pay the public hearing costs.
13. Comply with all other applicable laws and ordinances of the City of La Porte and the State of Texas.

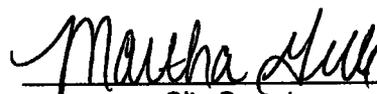
Failure to begin construction within 12 months after issuance or as scheduled under the terms of a special conditional use permit shall void the permit as approved, except upon an extension of time granted after application to the Planning and Zoning Commission.

If construction is terminated after completion of any stage and there is ample evidence that further development is not contemplated, the ordinance establishing such special conditional use permit may be rescinded by the City Council, upon its own motion or upon the recommendation of the Planning and Zoning Commission of the City of La Porte, and the previous zoning of the entire tract shall be in full effect on the portion which is undeveloped.

Validation Date: 8-11-03



Director of Planning



City Secretary

**City of La Porte, Texas
Planning and Zoning Commission**



September 21, 2017

AGENDA ITEMS 8-10

Special Conditional Use Permit #17-9100003

A request of Alan Calaway, applicant; to allow for an Indoor Gun Range and Retail Space, to locate within the La Porte Town Center SCUP, located on a tract of land legally described as the northern 256' wide strip of Tract 1L, Johnson Hunter Survey, Abstract No. 35.

Ian Clowes, City Planner

Planning and Development Department

City of La Porte, Texas

Planning and Development Department Staff Report

ISSUE

Consider a recommendation to the City Council on a request by Alan Calaway, applicant; to allow for an Indoor Gun Range and Retail Space, to locate within the La Porte Town Center SCUP, located on a tract of land legally described as the northern 256' wide strip of Tract 1L, Johnson Hunter Survey, Abstract No. 35.

DISCUSSION

Location:

The subject site is located on the east side of State Highway 146, north of Wharton Weems Blvd. The proposed project will be located within the approved La Porte Town Center.

Applicant Request:

The applicant is looking to relocate their current business from Seabrook to La Porte. Plans call for a new building to be constructed on a 5 acre parcel fronting SH 146. The building will include an indoor gun range and area for retail gun sales. There is no outdoor gun range proposed nor would one be permitted.

Background Information:

The site is currently zoned Planned Unit Development (PUD) with an approved mixed use SCUP, La Porte Town Center. The proposed gun range will be located within an area set aside in the general plan for General Commercial (GC). The proposed development and use will be in compliance with the approved general plan. The approved SCUP states that all uses within the GC zoning district, as permitted by Chapter 106 of the City Code of Ordinances, are permitted in the GC designated areas of the La Porte Town Center as designated by the general plan. Chapter 106 requires that Shooting Ranges, located within the GC zoning district, must obtain approval of a Conditional Use Permit prior to administrative approval of any building or zoning permits.

The attached Exhibit B shows the zoning of the subject property and surrounding properties. The following table summarizes the surrounding zoning and land uses:

	Zoning	Land Use
<i>North</i>	PUD	Undeveloped (La Porte Town Center)
<i>South</i>	PUD	Undeveloped (La Porte Town Center)
<i>West</i>	PUD	Industrial (Port Crossing)
<i>East</i>	PUD	City Golf Course

The site is currently identified as mix of Commercial, Medium Density Residential, and Mixed Use on the Future Land Use Map.

Notification Requirements:

The public hearing notification requirements outlined in Section 106-171 were performed in accordance with all applicable code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 200 feet of the site within 10 days of the hearing; sign posted on the site within 15 days of the hearing. Additional notice of the public hearing was posted at City Hall and on the City’s website in compliance with state law.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

Land Use. Staff finds that approval of the proposed SCUP would be in conformance with the previously approved La Porte Town Center SCUP and could serve as a catalyst for future development in the area.

Access. There is sufficient existing right-of-way access. The approved general plan for the La Porte Town Center provides adequate access to SH 146.

Utilities. Water and sewer services are available along the SH 146 frontage road and along the eastern edge of the subject property.

Section 106-217 of the Zoning Ordinance outlines specific conditions for approval of SCUP applications. There are three different conditions that must be met in order to approve a SCUP. The following table identifies each of the three conditions and staff’s finding on each:

Condition:	Staff Analysis:
(1) That the specific use will be compatible with and not injurious to the use and enjoyment of other property,	The proposed use would be consistent with the approved La Porte Town Center SCUP and would become the first commercial development to be constructed as part of the SCUP. The proposed use

nor significantly diminish or impair property values within the immediate vicinity.	would be in conformance with the approved general plan.
(2) That the conditions placed on such use as specified in each district have been met by the applicant.	Any and all conditions have been met at this time.
(3) That the applicant has agreed to meet any additional conditions imposed, based on specific site constraints, and necessary to protect the public interest and welfare of the community.	The applicant has agreed to adhere to any conditions that may be imposed upon them. .

RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission recommend approval of the proposed Special Conditional Use Permit #17-9100003.

ATTACHMENTS

- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Application
- Exhibit E: La Porte Town Center General Plan



EXHIBIT A

AERIAL MAP

SCUP

#17-91000003



Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 346 feet



SEPTEMBER 2017
PLANNING DEPARTMENT

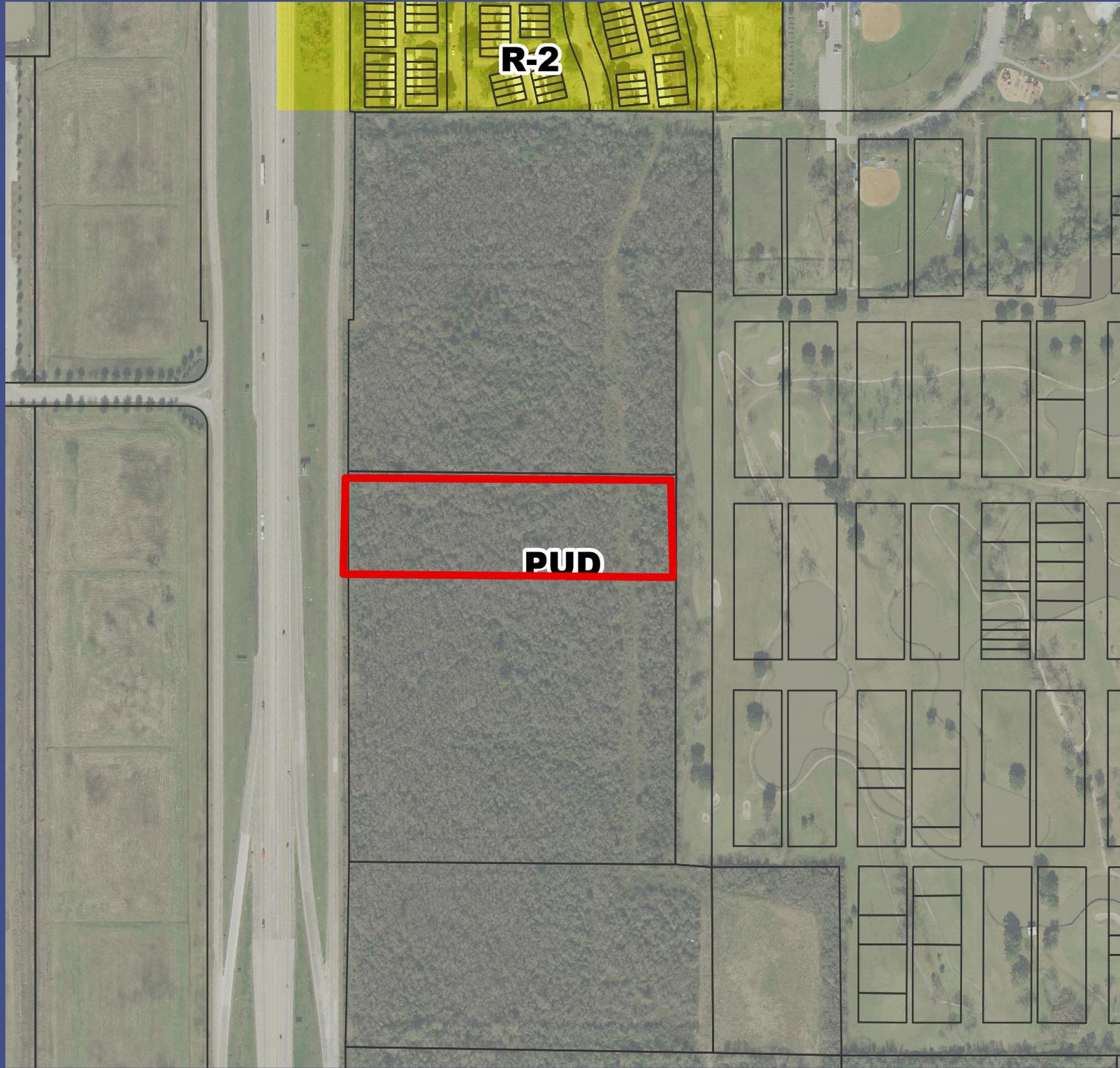


EXHIBIT B

ZONING MAP

SCUP

#17-91000003

 Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 346 feet



SEPTEMBER 2017
PLANNING DEPARTMENT

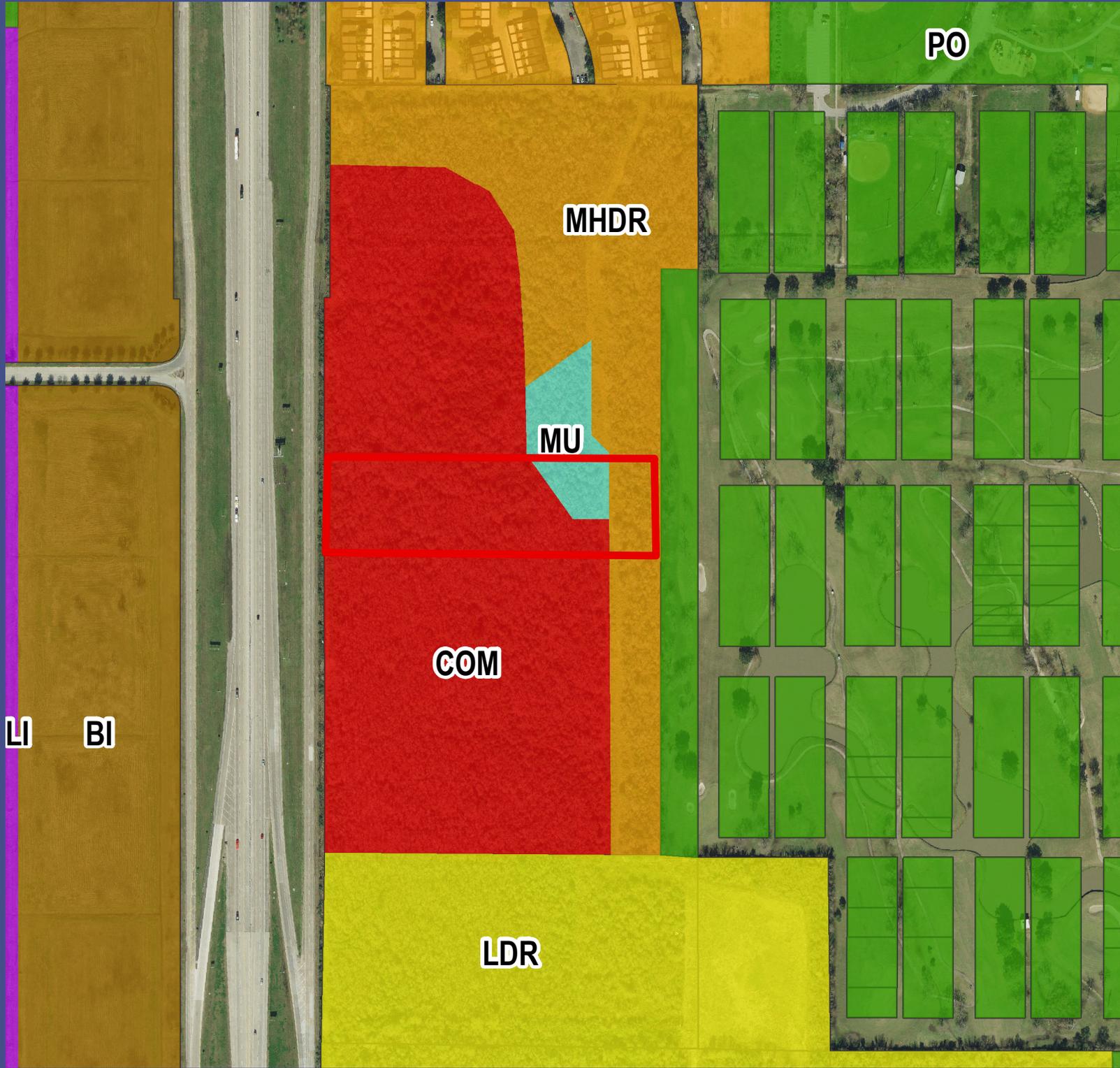


EXHIBIT C

FUTURE LAND USE MAP

**SCUP
#17-91000003**

 Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 338 feet



SEPTEMBER 2017
PLANNING DEPARTMENT



Special Conditional Use Permit Application

Planning and Development Department

PROJECT INFORMATION

Address where SCUP is being requested: _____

Legal description where SCUP is being requested: TRACT 12 abstract 35 J Hunter gun.

HCAD Parcel Number where SCUP is being requested: 0402780010034

Zoning District: PUD Lot area: 5 acres

A request for approval of a Special Conditional Use Permit is hereby made to the City of La Porte.

Description of Request: Construction of a 213000 sq ft Indoor Gun Range with a retail space.

Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

PROPERTY OWNER(S) INFORMATION

Name: DR CARL AND KIM BALL

Company (if applicable): LOCKED AND LOADED ARMS INC

Address: 2113 BAYBROT BLVD

City: SEABROOK State: TX Zip: 77586

Phone: 281-326-3134 Email: _____

AUTHORIZED AGENT (If other than owner)

Name: ALAN CALAWAY

Company (if applicable): MAX CO. CONSTRUCTION LLC

Address: 2700 MARKET ST, I

City: Baytown TX State: TX Zip: 77520

Phone: 832-309-6254 Email: _____

OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

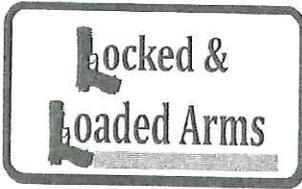
Agent's Signature: _____ Date: 8-14-2017

Owner(s)' Signature(s): _____ Date: 8-14-2017

STAFF USE ONLY:

Case Number: 17-91000003

Date Application Received:
8/18/17



Letter of Intent

DATE: August 15, 2017

Seller:

Purchaser: Locked and Loaded Arms, 2113 Bayport Blvd, Seabrook, Texas 77586

Brokers: JLL, 1400 Post Oak Blvd, Ste 1100, Houston, Texas 77056

RE: PROPERTY LOCATED NORTH OF WEEMS ROAD AND SOUTH OF FAIRMONT
ADJACENT TO HIGHWAY 146 ON THE EAST SIDE IN LA PORTE, TEXAS 77571

This **non-binding letter** represents Purchaser's intent to purchase the above captioned property (the "Property") including the land and improvements on the following terms and conditions:

- Price:** \$543,488.00 for the northern most acreage of the property. 256' wide x 849.2' deep equaling 217395.2 sq ft or 4.9907 acres.
- Financing:** Buyer agrees to obtain new financing with purchase contingent upon Buyer obtaining 90% LTV approval within 90 days of dated execution of Purchase and Sale Agreement. Buyer has option to assume existing financing, if possible.
- Earnest Money:** \$1,000 to be deposited into an escrow account by Purchaser within three (3) days after the execution of a formal Purchase and Sale Agreement.
- Due Diligence:** Purchaser shall have 45 business days due diligence period from the time of the execution of a formal Purchase and Sale Agreement and receipt of relevant documents. Due diligence acceptable to Purchaser in his sole and absolute discretion, which including without limitation: appraisal, environmental matters, leases, physical inspection, title, and zoning.
- Closing:** Closing shall occur 60 days after completion of due diligence period.
- Additional Terms:**

Real Property Taxes: Real property taxes shall be prorated at closing according to the local customary proration method.

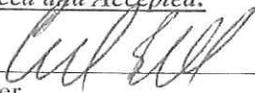
Purchase Contract: Buyer shall have (5) business days from mutual execution of this Letter of Intent agreement to submit a purchase and sale agreement.

Contingency: The purchase is contingent upon buyer obtaining financing and the City Council of La Porte, Texas approving

Agents: Teresa Thorne represents the Seller and Carl Ball represents the Buyer.

This letter of intent is **not intended** to create a binding agreement on the Seller to sell or the Buyer to buy. The purpose of this letter is to set forth the primary terms and conditions upon which to execute a formal Purchase and Sale Agreement. All other terms and conditions shall be negotiated in the formal Purchase and Sale Agreement. This letter of Intent is open for acceptance through *September 1, 2017*

Agreed and Accepted:

By:  _____
Buyer

Date: 8-15-2017

By: _____
Seller

Date: _____

By: _____
Agent

Date: _____

By: _____
Agent

Date: _____



Special Conditional Use Permit Application

Planning and Development Department

AFFIDAVIT OF POSTING PLANNING AND ZONING COMMISSION PUBLIC HEARING

STATE OF TEXAS
COUNTY OF HARRIS
CITY OF LA PORTE

The undersigned hereby duly swears on oath and says:

1. A public hearing sign was provided to me by the City of La Porte's Planning and Development Department. I hereby attest that said sign will be posted on the following described property, which is subject to the application:

ADDRESS: 0402780010034 HCAD #

LEGAL DESCRIPTION: Track L ABSTRACT 35 J. Hunter Sub.

2. In accordance with the provisions of Section 106-194 of the city's Code of Ordinances, I hereby attest that said sign will be posted on the described property for no less than fifteen (15) days prior to the scheduled public hearing; starting at least on the following date: _____.
3. Said sign shall be placed on the property within 20 feet of the abutting street.
4. Said sign shall remain legible and visible for the entire fifteen (15) day posting period. If sign is damaged or missing, I hereby attest that I will contact the City of La Porte for a replacement sign.

Alan P. Calaway
Applicant's Signature

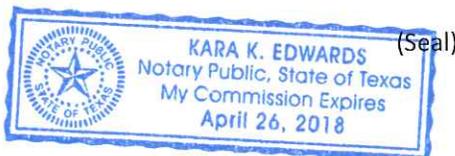
Alan P. Calaway
Applicant's Printed Name

Subscribed and sworn before me this 14th day of August, 2017, by

Alan P. Calaway (Print Applicant's Name).

Kara K Edwards
Notary Public

My commission expires: 4-26-18





SUBJECT PARCEL
- 5 acres

SUSP 146

EXPORT DR

Legend

Street Names

-  City Limits
-  Railroad
-  Drainage Channels
-  Parcels

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of La Porte makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of La Porte from any damage, loss, or liability arising from such use.



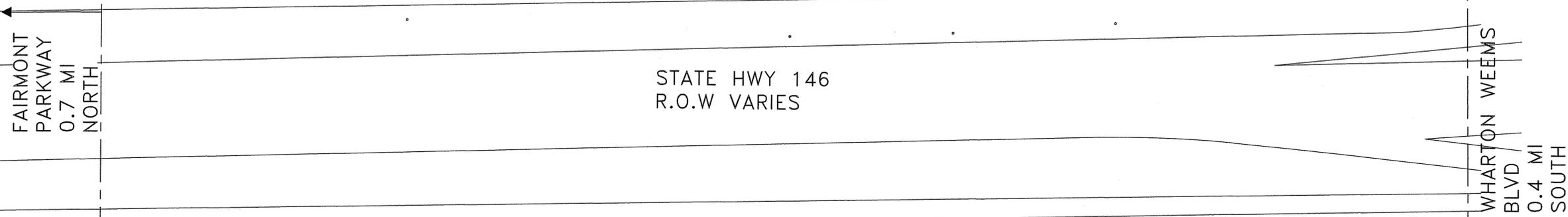
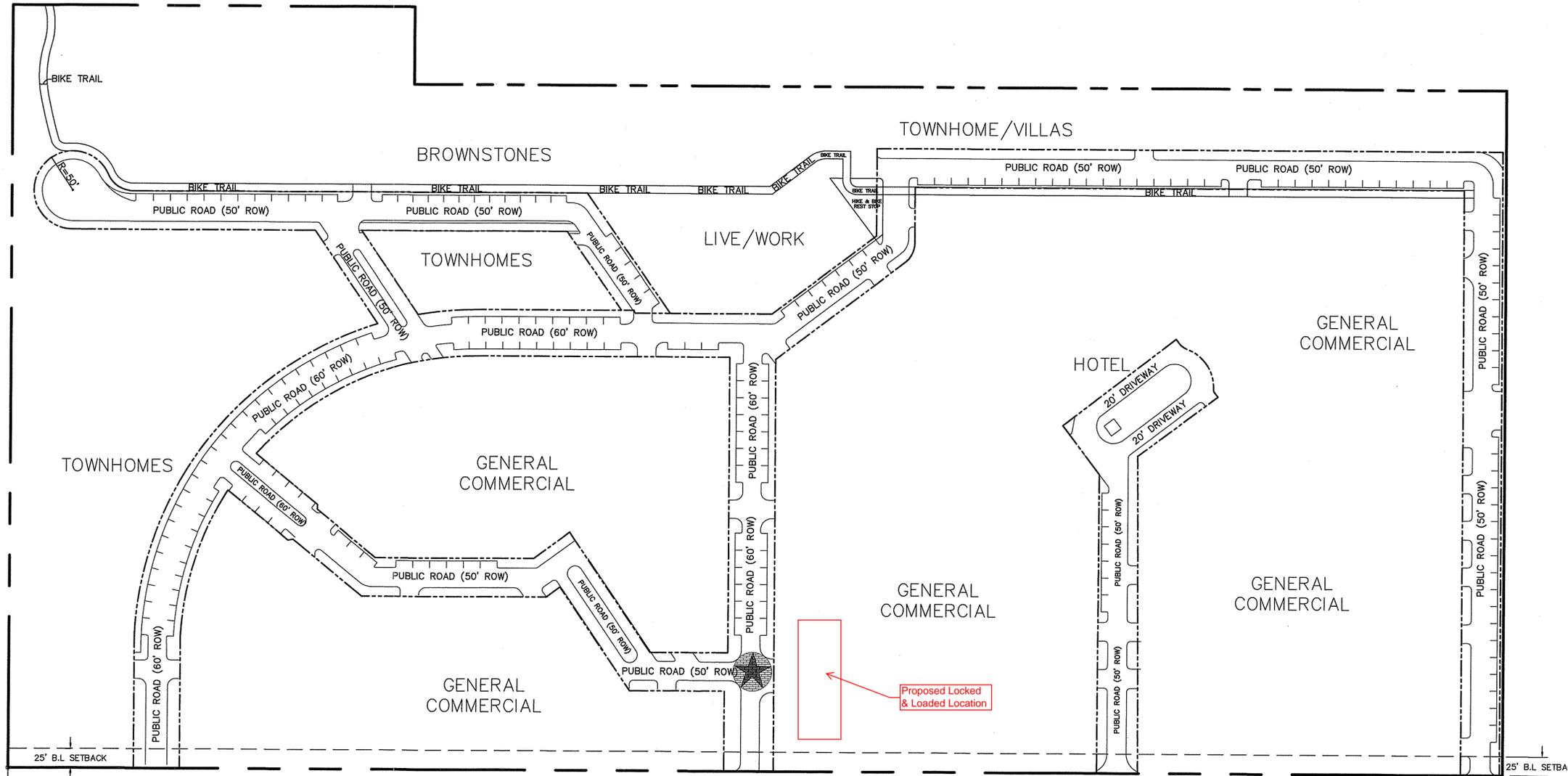
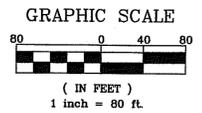
City of La Porte
604 W. Fairmont Parkway
La Porte, TX 77571
(281) 471-5020
www.laportetx.gov

La Porte GIS Mapping

1" = 376'



EXHIBIT E



APP.	REVISIONS	DATE
▲		
▲		
▲		

Everest Design Group, llc
 Planning, Engineering, Construction Management
 TBPE FIRM NO. F-9440
 907 S. Friendswood Drive, Suite 200
 Friendswood, Texas 77546
 P: 281-993-3770 FAX: 281-648-2294

PROJECT: **LA PORTE TOWN CENTER**
 STATE HWY 146, LA PORTE, TX 77571

R.O.W EXHIBIT B
WITH LABELING

CITY OF LA PORTE, TEXAS

PROJECT NO:	
DRAWING SCALE	
HORZ: AS SHOWN	
VERT:	

**City of La Porte, Texas
Planning and Zoning Commission**



September 21, 2017

AGENDA ITEMS 11-13

Zone Change Request #17-92000003

A request by Jeff Presnal of Cypressbrook Management Company, LP, applicant, on behalf of Carrington F. Weems, owner for approval of a change in zoning from General Commercial (GC) to the Planned Unit Development (PUD) zoning district; on approximately 5.051 acres of land, legally described as Blocks 1143 and 1144, La Porte Subdivision

*Ian Clowes, City Planner
Planning and Development Department
City of La Porte, Texas*

Planning and Development Department Staff Report

ISSUE

Should the Planning and Zoning Commission recommend approval of a change in zoning from General Commercial (GC) to the Planned Unit Development (PUD) zoning district; on approximately 5.051 acres of land, legally described as Blocks 1143 and 1144, La Porte Subdivision?

DISCUSSION

Location:

The subject site is located on the east side of S. 16th St., north of the W. M St. ROW. The site is currently undeveloped.

Background Information:

The property is currently undeveloped. The owner of the property would like to change the zoning to PUD with a Special Conditional Use Permit (SCUP), allowing them to construct a wholesale trucking facility. Preliminary layouts for the project show a 7,200 square foot facility with 7 truck docks. The proposed site plan shows the building fronting onto S. 16th St. with the truck docks to the rear, not visible from S. 16th.

The attached Exhibit B shows the zoning of the subject property and surrounding properties. The following table summarizes the surrounding zoning and land uses:

	Zoning	Land Use
North	GC, General Commercial	Undeveloped/Bar
South	PUD	Port Crossing Industrial Park
West	LI, Light Industrial	Industrial Trucking Facility
East	GC, General Commercial	Undeveloped

The site is currently identified as General Commercial in the Future Land Use Map. As a result, in order to rezone the property, the city's Future Land Use Map should be amended to identify this site as Light Industrial.

Notification Requirements:

Staff finds that the public hearing notification requirements outlined in Section 106-171 were performed in accordance with code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 200 feet of the site within 10 days of the hearing and in this case notice was sent to all property owners and residents within the rezoning area; 4 signs were posted in the area of the rezoning within 15 days of the hearing. In accordance with state law, notice of the public hearing was also posted at City Hall and on the City’s website.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

1. *Land Use.* Staff finds that allowing for a light industrial use to be constructed on this site would be consistent with the use pattern of the area. Additionally, through the SCUP approval process, the commission has the ability to build in certain protections regarding outside storage and screening that should minimize the visual impacts of the proposed use.
2. *Access.* There is sufficient existing right-of-way access.
3. *Utilities.* Water and sewer services are available along W. M and S. 16th.

Additionally, the City’s Comprehensive Plan identifies a number of items to be considered prior to making land use decisions. The following table breaks down each item and staff’s finding:

Criterion:	Staff Findings:
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	Proposed development would be consistent with adjacent properties. Adjacent properties to the south and west have recently been developed for light industrial uses.
Conformance of a zoning request with the land use plan.	The proposed zone change will be in conformance with the future land use plan once amended to reflect the change to a light industrial use.
Character of the surrounding and adjacent areas.	The proposed zone change would be consistent with the development pattern along this section of S. 16 th St.
Suitability of the property for the uses which would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	The proposed development will be consistent with other industrial developments along S. 16 th St.

Planning and Zoning Commission Regular Meeting
 September 21, 2017
 Zone Change #17-92000003

The extent to which the proposed use designation would adversely affect the capacity or safety of that portion of the road.	The proposed zone change will have minimal impact on the traffic in the vicinity. S. 16 th St. is labeled as a High Frequency Truck Route.
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise pollution, or other environmental harm to adjacent properties.	The proposed zone change will not create excessive air pollution or other negative environmental issues.
The gain, if any, to the public health, safety, and welfare of the City.	The proposed zone change will allow a vacant parcel to develop in a manner consistent with other properties along S. 16 th St.

RECOMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission recommend approval of the proposed zone change from General Commercial (GC) to Planned Unit Development (PUD).

ATTACHMENTS

- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Application

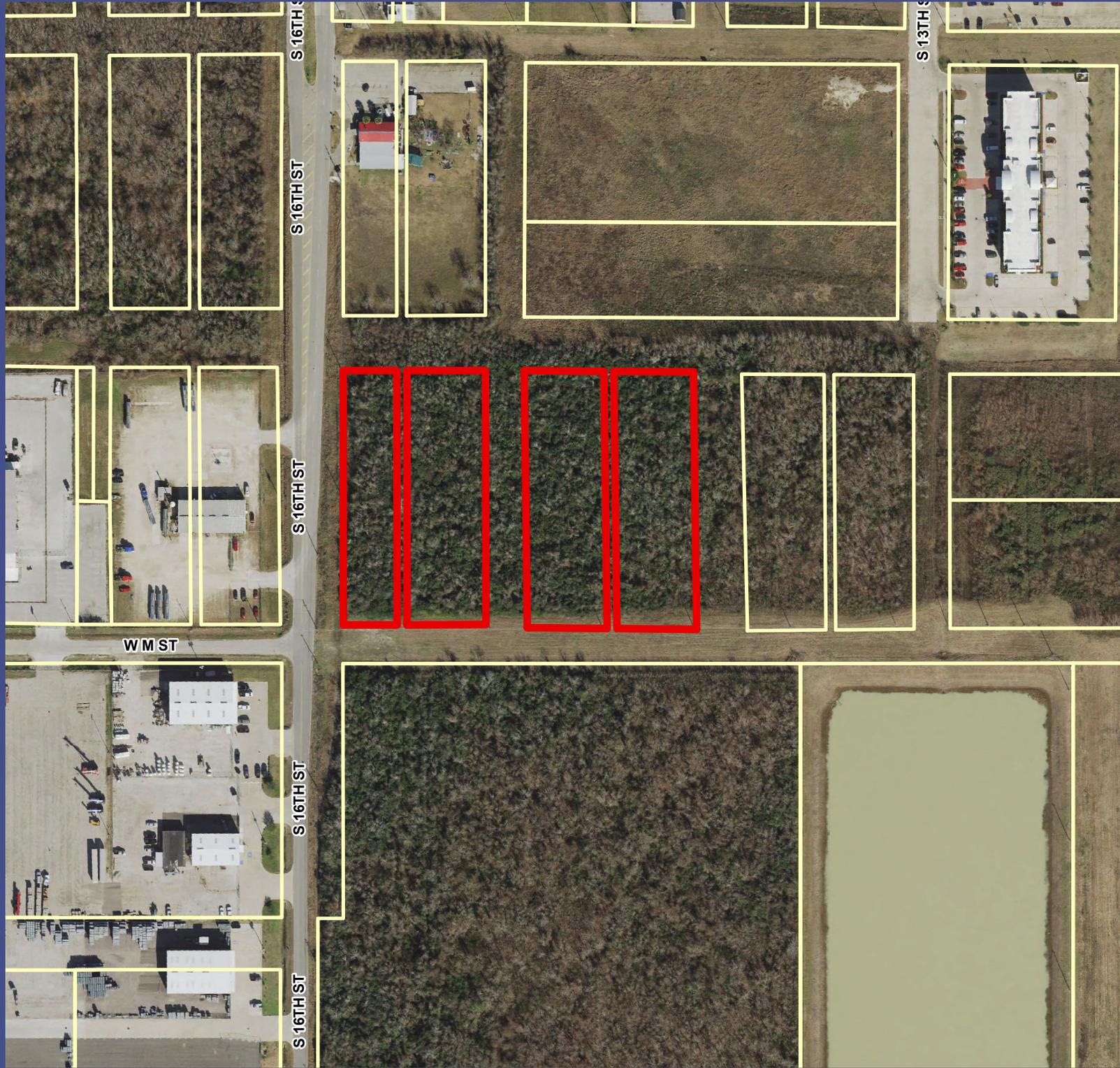


EXHIBIT A

AERIAL MAP

**Zone Change
#17-92000003**

**NE Corner
S. 16th and W. M**

 Subject Property



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 212 feet



**JUNE 2017
PLANNING DEPARTMENT**



EXHIBIT C

FLUP MAP

**Zone Change
#17-92000003**

**NE Corner
S. 16th and W. M**

 Subject Property



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1 inch = 212 feet



**JUNE 2017
PLANNING DEPARTMENT**



Zone Change Application

Planning and Development Department

PROJECT INFORMATION

Address where zone change is being requested: 4.22 acres, 0 N. 16th St., La Porte TX 77571

Legal description where zone change is being requested: Lots 1-32, Blk 1144, Lots 17-32 & Tracts 1-16

HCAD Parcel Number where zone change is being requested: 0242030430001

Zoning District: General Commercial Lot area: 4.22 acres

A request for approval of a zone change is hereby made to the City of La Porte.

Description of Request: Change current zoning from General Commercial to PUD

Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

PROPERTY OWNER(S) INFORMATION

Name: F. Carrington Weems

Company (if applicable): _____

Address: 1603 W. Clay St.

City: Houston State: TX Zip: 77019-4915

Phone: 713-528-6386 Email: _____

AUTHORIZED AGENT (if other than owner)

Name: Jeff Presnal

Company (if applicable): Cypressbrook Management Company, L.P.

Address: 1776 Woodstead Court, Suite 218

City: The Woodlands State: TX Zip: 77380

Phone: 832-403-2872 Email: [REDACTED]

OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

Agent's Signature: Jeff Presnal  Digitally signed by Jeff Presnal
Date: 8/21/17

Owner(s)' Signature(s): _____ Date: 8/21/17

STAFF USE ONLY:

Case Number: _____

Date Application Received: _____



1776 Woodstead Ct., Suite 218 The Woodlands, TX 77380

(D) 832-403-2872 ~ (F) 281.364-1743

Email: jpresnal@cypressbrook.com

Mr. Ian Clowes
City Planner
Planning and Development Department
City of La Porte, Texas
604 W. Fairmont Parkway
La Porte, Texas 77571

VIA-Email: clowesi@laportetx.gov

August 21, 2017

RE: Justification for Zoning Change from General Commercial to PUD with SCUP, Lots 1-32 of Block 1143 and Lots 1-32 of Block 1144 (including two 15' Alleys and the 15th Street ROW)

Dear Mr. Clowes:

Please allow this letter to satisfy the requirements outlined in the City of La Porte Zone Change Application that is the subject of this letter.

Cypressbrook has the tracts referenced above under contract for purchase and we are working for a local trucking company to develop it as a commercial trucking transfer facility.

The following information is provided to justify or outline our request:

1. The development is anticipated to include an approximately 10,000 square foot truck transfer facility with the following attributes:
 - 7 dock high truck transfer bays designed to face away from the street and accommodate truck maneuvering away from the street and visually screened from the street view;
 - Parking sufficient to meet current code requirements;
 - On site detention to meet engineering requirements that will outfall into the 16th Street storm system;
 - Water and sanitary sewer utilities available in the 16th Street ROW sufficient for the development;
 - Ingress/egress drive on 16th Street sufficient to meet current requirements; and
 - Ability to expand to the north in the future to meet future anticipated growth needs.
2. The adjacent property uses are as follows: to the west- Light Industrial, to the south Planned Unit Development, to the north General Commercial and to the east General Commercial;;
3. NAICS Code 484110 is appropriate for the site;

4. Numerous tracts within blocks of the site are either Light Industrial or Heavy Industrial including the Bayport Industrial District;
5. The site is on 16th Street which is designated as a High Frequency Truck Route; and
6. The site contains other property designated as 60' ROW for 15th Street as well as two 15' alleys and we have not only begun abandonment and closure through the Street and Alley Closure (SAC) process but have already received "No Objection" letters from the required utility providers and;
7. The operator will not utilize nor allow any on site ground container storage.

It is our belief that this request is both consistent and compatible with the surrounding land uses and will be an attribute to the City of La Porte as it retains jobs within the community and assists an existing business with its growth plans.

Please do not hesitate to contact us with any questions that you may have.

Sincerely,



Jeff Presnal
Development Principal

Attachments:

- Property Survey (including alleys and 15th Street ROW)
- Site Plan

LINE	BEARING	DISTANCE
L1	N 90°00'00" E	85.00'
L2	N 90°00'00" E	125.00'
L3	N 90°00'00" E	125.00'
L4	N 90°00'00" E	125.00'
L5	S 90°00'00" W	125.00'
L6	S 90°00'00" W	125.00'
L7	S 90°00'00" W	125.00'
L8	S 90°00'00" W	85.00'

Notes:
 1. Basis of bearings: the West line of the subject property as scaled per the recorded plat.
 This property lies within ZONE Shaded 'X' as SCALED from FEMA Map Panel Number 4820IC0945-M dated January 6, 2017.

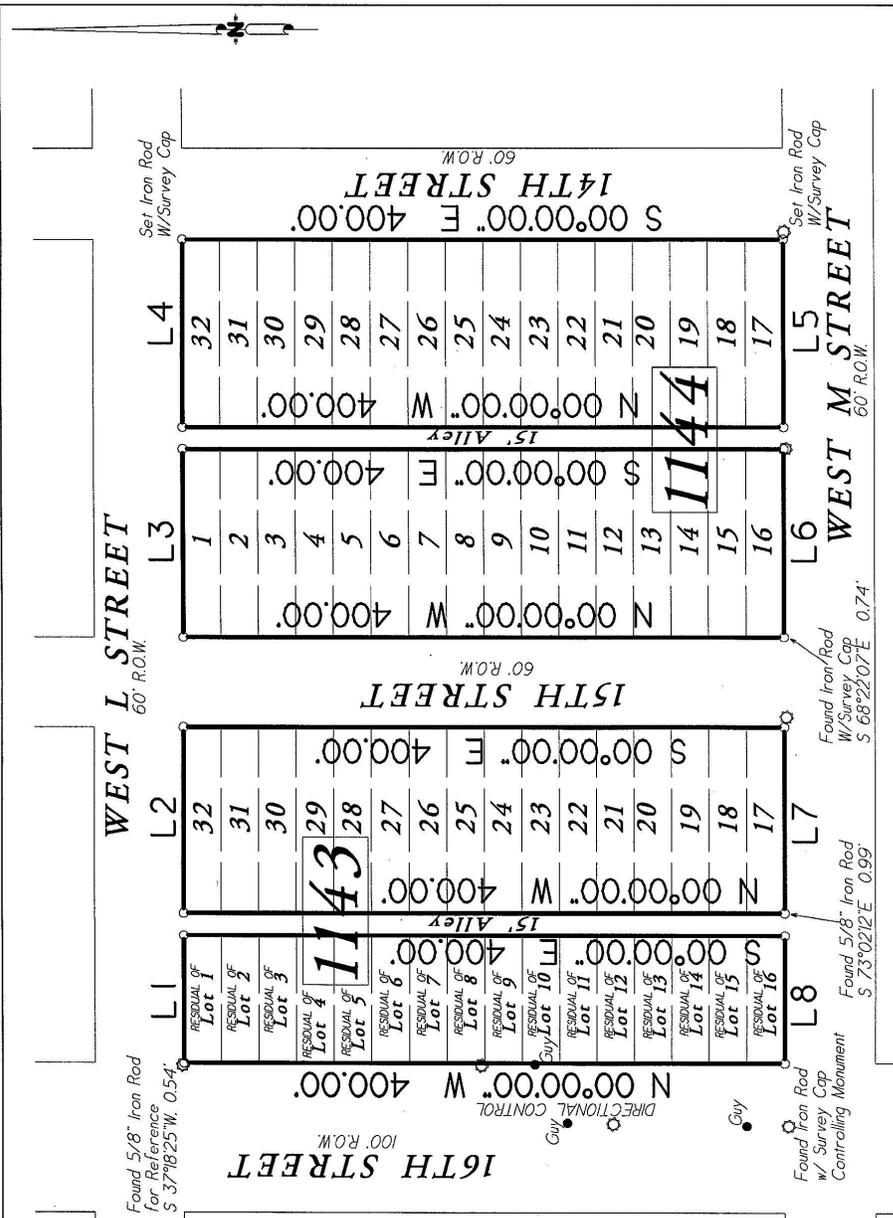
THIS MEANS THAT THE SUBJECT PROPERTY SCALES WITHIN THE 500 YEAR FLOOD PLAIN.

This determination is made strictly according to the FEMA Maps and does not reflect actual on ground flood conditions. Furthermore, this company takes no responsibility for such.

⊙ - POWER POLE

Lots	Block	Size
1-16	143	34,000 Sq.Ft./0.7805 Acre
1-16	144	50,000 Sq.Ft./1.1478 Acres
17-32	144	50,000 Sq.Ft./1.1478 Acres
17-32	143	50,000 Sq.Ft./1.1478 Acres
15' Alley	143	6,000 Sq.Ft./0.1377 Acre
15' Alley	144	6,000 Sq.Ft./0.1377 Acre
15th St.	-	24,000 Sq.Ft./0.5510 Acre

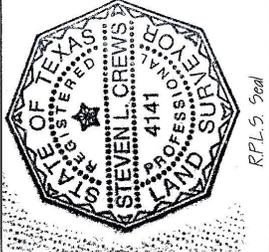
All of Blocks One Thousand One Hundred Forty Three (1143) and One Thousand One Hundred Forty Four (1144), an addition in Harris County, Texas according to the map or plat thereof recorded under Volume 60, Page 112 of the Deed Records of Harris County, Texas, including the 60 foot wide street between the two blocks and including the two 15 foot wide alleys within the blocks; SAVE AND EXCEPT that certain 0.3670 acre tract of land granted unto Harris County by Award of the Special Commissioners, a copy of which is recorded under Harris County Clerk's File No. 20090060467.



Certified To: Fidelity National Title Company
 Client: Cypressbrook Management Company

I HEREBY CERTIFY THIS SURVEY WAS MADE ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THIS PROFESSIONAL SURVEYOR CONFORMS TO THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY III, CONDITION III SURVEY, AND THAT THERE ARE NO ENCUMBRANCES EXCEPT AS SHOWN.

Steven L. Crews R.P.L.S. # 4141



Date: April 23, 2017
 Job No. 17-0158
 Address: La Porte, Texas
 City, State: La Porte, Texas
 Zip: 77571
 Drawn By: RM
 Rev: 0

GF No. 1044001682
 Scale: 1" = 100'

C & C Surveying, Inc.
 7424 F.M. 1488, Suite A, Magnolia, Texas 77354
 Office: 281-259-4377 Metro: 281-356-5172
 Fax: 281-356-1935
 Email: onesurveyatime@bogloba.net



LA PORTE
TRANSFER FACILITY
SITE PLAN EXHIBIT
LA PORTE, TX
08-23-17

TERRA

ASSOCIATES, UNITS.
 CONSULTING ENGINEERS
 4000 WEST LOOP SOUTH, SUITE 100
 HOUSTON, TEXAS 77027
 TEL: 281.416.4600

WEST L STREET
 WEST STREET
 (603 R.O.S.W.)

N 90°00'00" E 550.00'

5.051 AC
 (220,000 SF)

14th STREET
 (603 R.O.S.W.)

14th STREET
 S 00°00'00" E 400.00'

DETENTION
 EXPANSION
 AS REQUIRED

STABILIZED TRUCK
 MANEUVERING AREA
 (TYP)

CONCRETE TRUCK
 DOCKS (TYP)

FUTURE BLDG
 EXPANSION

FUTURE PARKING
 EXPANSION

DETENTION POND
 ~82,500 CF @ 5' DEPTH

WEST M STREET
 WEST STREET
 (603 R.O.S.W.)

S 90°00'00" W 550.00'

N 00°00'00" W 400.00'

16th STREET
 (100' R.O.S.W.)
 16th STREET



AFFIDAVIT OF POSTING
PLANNING AND ZONING COMMISSION PUBLIC HEARING

STATE OF TEXAS

COUNTY OF HARRIS

CITY OF LA PORTE

The undersigned hereby duly swears on oath and says:

1. A public hearing sign was provided to me by the City of La Porte's Planning and Development Department. I hereby attest that said sign will be posted on the following described property, which is subject to the application:

ADDRESS: 4.22 acres, 0 N. 16th St., La Porte TX 77571

LEGAL DESCRIPTION: Lots 1-32, Blk 1144, Lots 17-32 & Tracts 1-16

2. In accordance with the provisions of Section 106-194 of the city's Code of Ordinances, I hereby attest that said sign will be posted on the described property for no less than fifteen (15) days prior to the scheduled public hearing; starting at least on the following date: September 6, 2017
3. Said sign shall be placed on the property within 20 feet of the abutting street.
4. Said sign shall remain legible and visible for the entire fifteen (15) day posting period. If sign is damaged or missing, I hereby attest that I will contact the City of La Porte for a replacement sign.

Jeff Presnal
Applicant's Signature

Jeff Presnal
Applicant's Printed Name

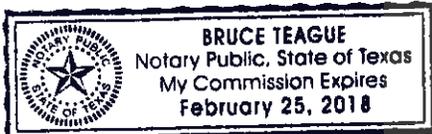
Subscribed and sworn before me this 21st day of August, 2017 by

Jeff Presnal

(Print Applicant's Name).

[Signature]
Notary Public

My commission expires: 2-25-18



(Seal)

**City of La Porte, Texas
Planning and Zoning Commission**



September 21, 2017

AGENDA ITEM 14

Future Land Use Map Amendment #17-92000003

A request by Jeff Presnal of Cypressbrook Management Company, LP, applicant, on behalf of Carrington F. Weems, owner for an amendment to the City of La Porte's Future Land Use Plan by amending the land use designation for a 5.051 acre tract of land legally described as Blocks 1143 and 1144, La Porte Subdivision from "Commercial" use to "Light Industrial" use.

Ian Clowes, City Planner

Planning and Development Department

City of La Porte, Texas

Planning and Development Department Staff Report

ISSUE

Consider a recommendation of approval to the City Council for an amendment to the city's Future Land Use Plan as demonstrated in the attached Exhibits A and B.

DISCUSSION

Staff is presenting for consideration an amendment to the city's Future Land Use Plan in conjunction with a zone change request on a 5.051 acre tract of land from GC to PUD. The site is currently undeveloped and is located on the east side of S. 16th St. north of the W. M St. ROW.

The city's Future Land Use Plan (FLUP) identifies this property as "Commercial" land use. In order to accommodate the proposed development, the FLUP would need to be amended to allow for "Light Industrial" use. The FLUP may be amended from time to time if approved by the City Council, upon recommendation by the Planning and Zoning Commission. The attached Exhibit A demonstrates the existing land use while Exhibit shows the proposed future land use plan.

Section 213.003 of the Texas Local Government Code (LGC) specifies requirements for amending the city's Future Land Use Plan, which was adopted as a component of the Comprehensive Plan. The LGC requires review of the proposed amendment by the Planning and Zoning Commission and consideration by the City Council. A public hearing will be scheduled at the time of City Council review.

The Future Land Use Plan identifies the following surrounding land uses (see the attached Exhibit A):

	Land Use	Development
North	Commercial	Undeveloped
South	Light Industrial	Port Crossing
West	Light Industrial	Industrial Development
East	Commercial	Undeveloped

RECOMMENDATION

Should the Planning and Zoning Commission desire to recommend approval for zone change 17-92000003, then the city's Future Land Use Plan should be amended as described in this item.

ATTACHMENTS

- Exhibit A: Current Future Land Use Plan
- Exhibit B: Proposed Future Land Use Plan

CURRENT LAND USE MAP

**Zone Change
#17-92000003**

**NE Corner
S. 16th and W. M**

 Subject Property



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1 inch = 212 feet

SEPTEMBER 2017

PLANNING DEPARTMENT



PROPOSED LAND USE MAP

**Zone Change
#17-92000003**

**NE Corner
S. 16th and W. M**

 Subject Property

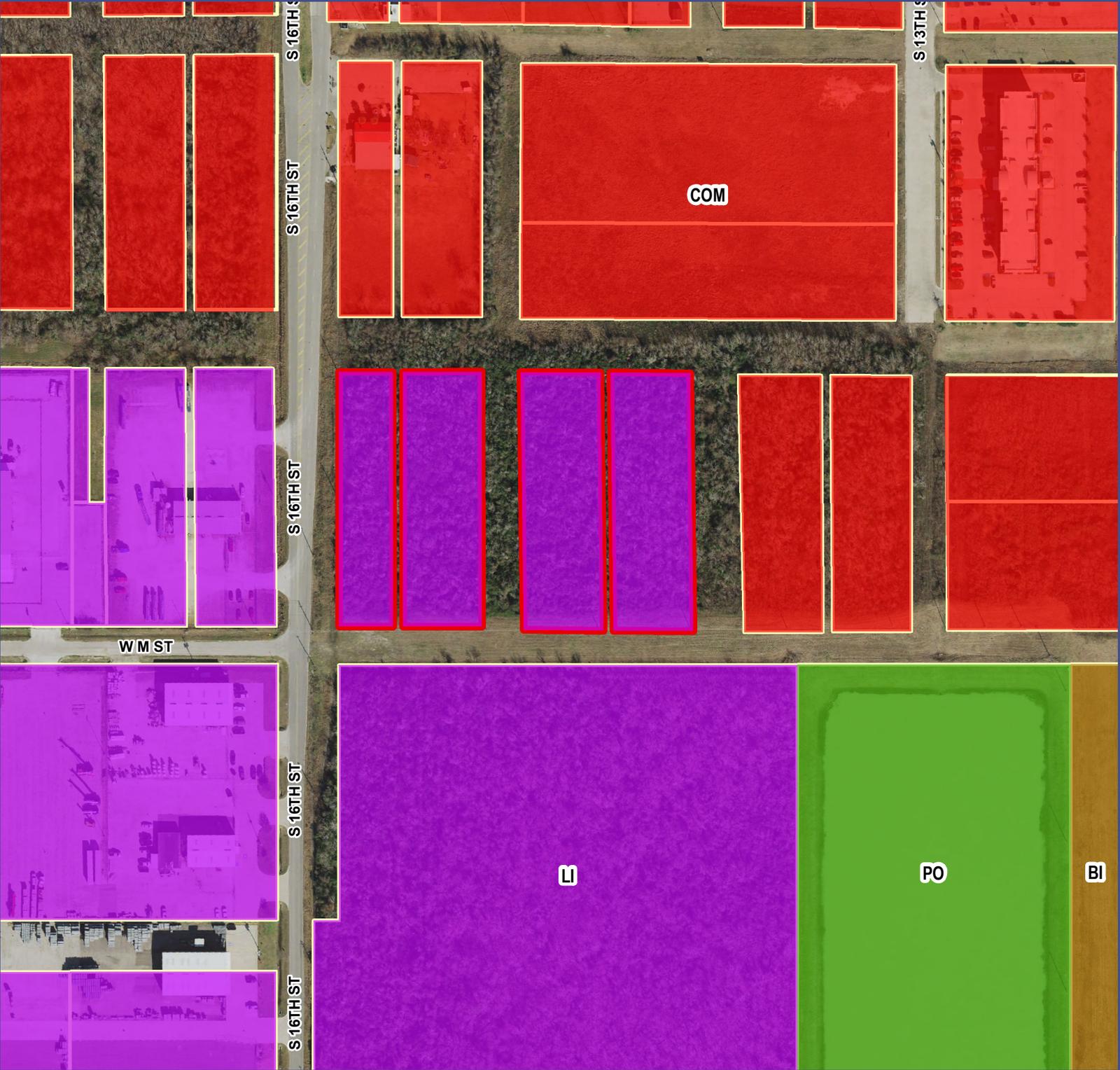


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1 inch = 212 feet

SEPTEMBER 2017

PLANNING DEPARTMENT



**City of La Porte, Texas
Planning and Zoning Commission**



September 21, 2017

AGENDA ITEM 15a

Discuss proposed amendments to the NC Zoning District

*Ian Clowes, City Planner
Planning and Development Department
City of La Porte, Texas*

Proposed Amendments to Chapter 106-310. - Commercial and Industrial Uses

2012 NAICS Code	2012 NAICS Title	**	NC	MS	GC	MU	BI	LI	HI
71394	Fitness and Recreational Sports Centers	P	P	P			P	P	P
813110	Religious Organizations	P	C	P			P	P	P
812910	Pet Care (except Veterinary) Services	P	C 14	C 14			C 14	C 14	C 14
541214	Payroll Services	P		P			P	P	P
541219	Other Accounting Services	P		P			P	P	P
54131	Architectural Services	P		P			P	P	P
54132	Landscape Architectural Services	P		P			P	P	P
54133	Engineering Services	P		P			P	P	P
54134	Drafting Services	P		P			P	P	P
54135	Building Inspection Services	P		P			P	P	P
54136	Geophysical Surveying and Mapping Services	P		P			P	P	P
50137	Surveying and Mapping (except Geophysical) Services	P		P			P	P	P

**City of La Porte, Texas
Planning and Zoning Commission**



September 21, 2017

AGENDA ITEM 15 b-c

- Port Crossing SCUP amendment process and possible action to provide direction to staff.
- Jurisdictional enforcement of state and local regulations on streets within La Porte city limits.

Ian Clowes, City Planner

Planning and Development Department

City of La Porte, Texas